

- ⊙ 2.10 ceiling height
- ⊠ emergency light
- ⊠ step light
- ⊠ step light
- ⊗ alarm
- ⊕ ceiling mounted light
- ⊖ wall mounted light
- ⊙ ceiling mounted point light
- ⊠ break glass alarm switch
- SD smoke detector

BASEMENT FLOOR PLAN 1:50

\*\* RACKING OMITTED FOR CLARITY \*\*



Project Name  
**Schuh Limited**  
 6 Frederick Street  
 Edinburgh

Title  
**BASEMENT FLOOR PLAN  
 AS EXISTING**

Status  
**Tender**

Project no. - Drawing no. - Revision  
 1627-(0)-01

Drawn By  
 JS

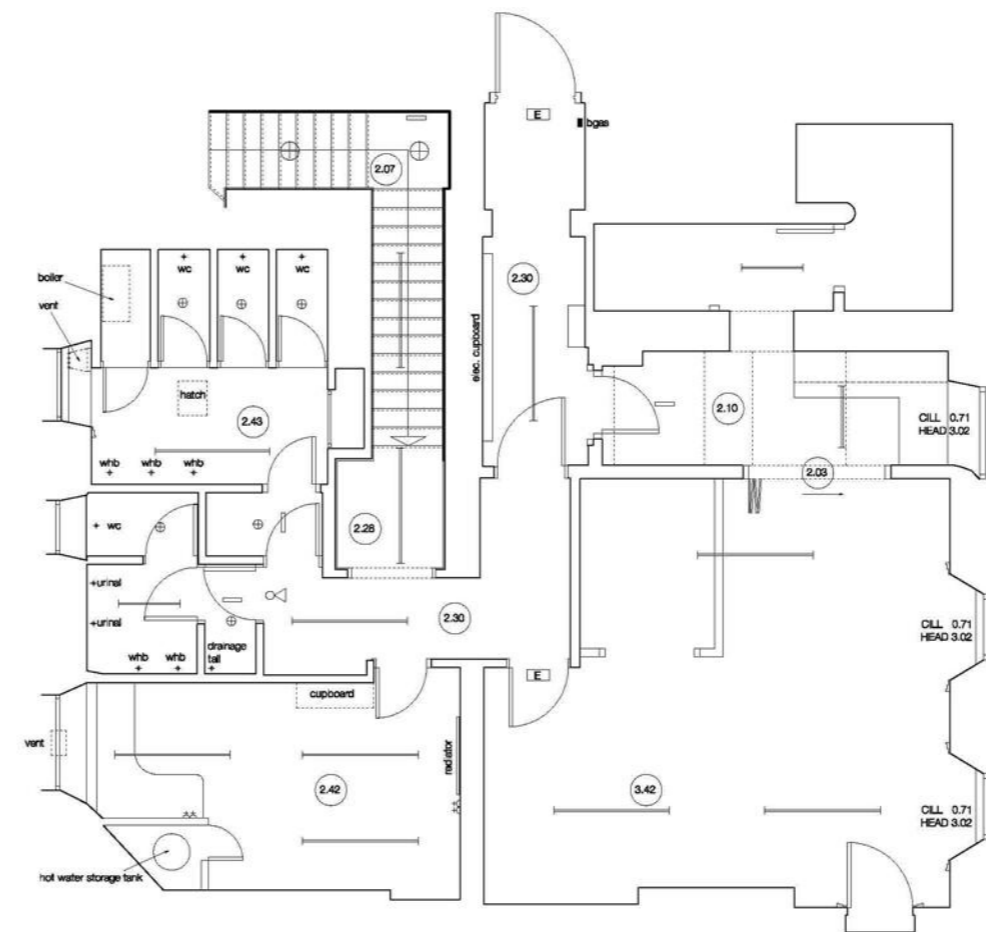
Drawn Date  
 16/03/2009

Scale (s) @ A1  
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 www.oberlanders.co.uk

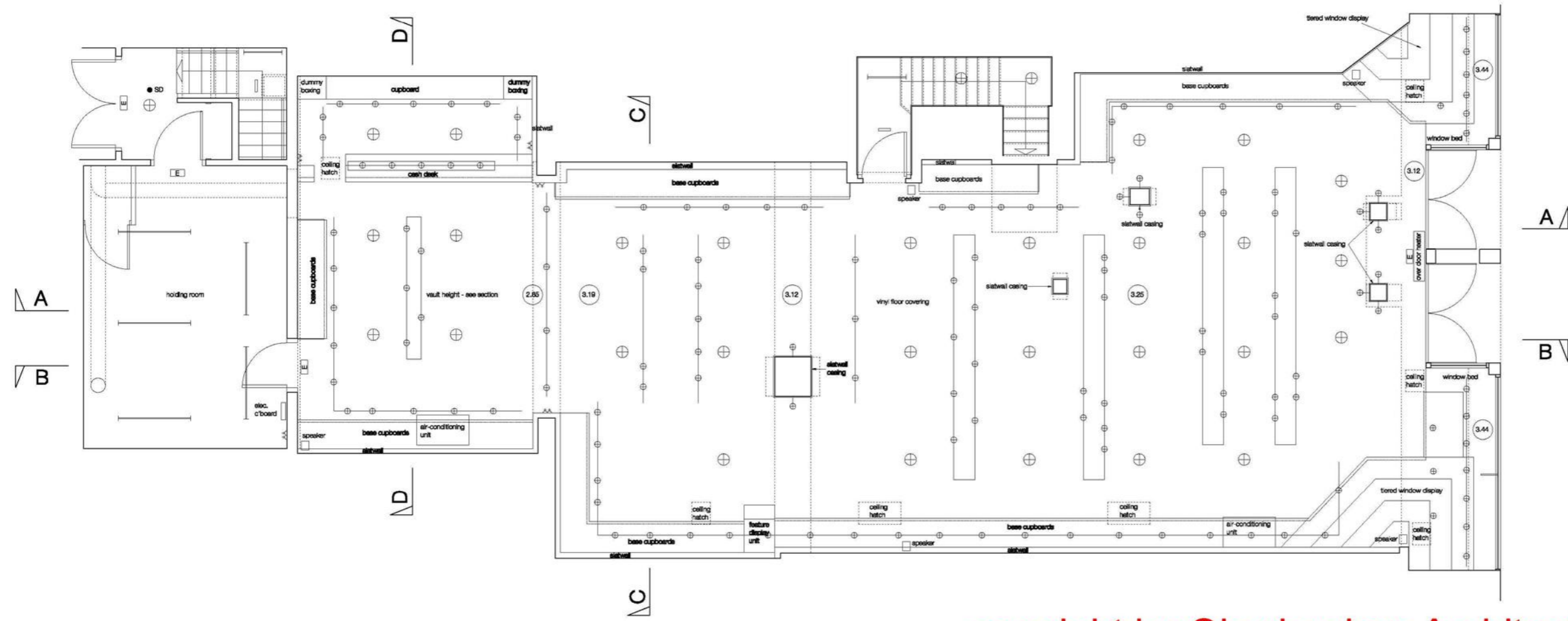
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Scale converter			
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1:10	1:20	1:25	1:50
1:50	1:100	1:100	1:200
1:200	1:500		



1ST FLOOR PLAN 1:50

- ⊙ 3.10 ceiling height
- ⊠ emergency light
- ⊞ alarm light
- ⊞ alarm light
- ⊞ alarm
- ⊕ ceiling mounted light
- ⊖ wall mounted light
- ⊕ ceiling mounted point light
- ⊠ break glass alarm switch
- ⊞ smoke detector



GROUND FLOOR PLAN 1:50

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Project Name  
Schuh Limited  
6 Frederick Street  
Edinburgh

Title  
**GROUND FLOOR  
AND 1ST FLOOR PLAN  
AS EXISTING**

Stage  
**Tender**

Project no. - Drawing no. - Revision  
1627-(0)-02

Drawn By  
JS

Drawn Date  
16/03/2009

Scale  
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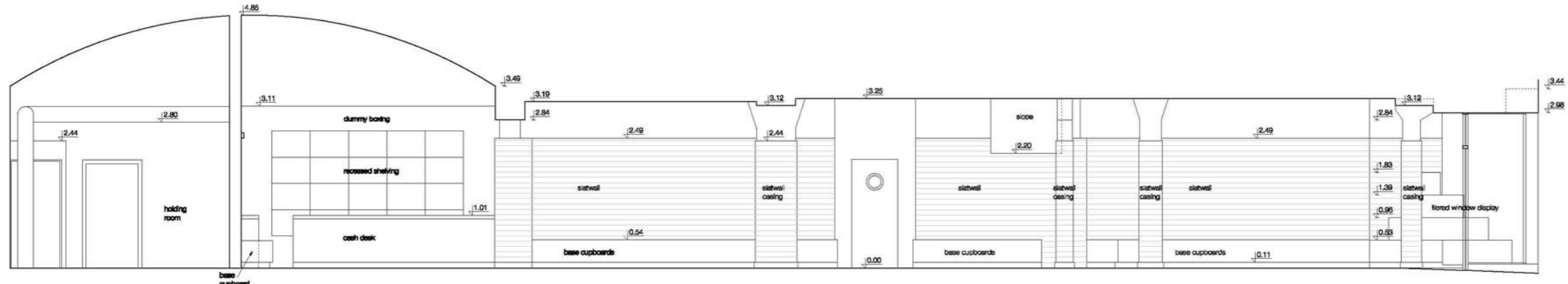
Oberlanders Architects LLP  
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F 0131 556 0768  
E mail@oberlanders.co.uk  
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**Scale converter**

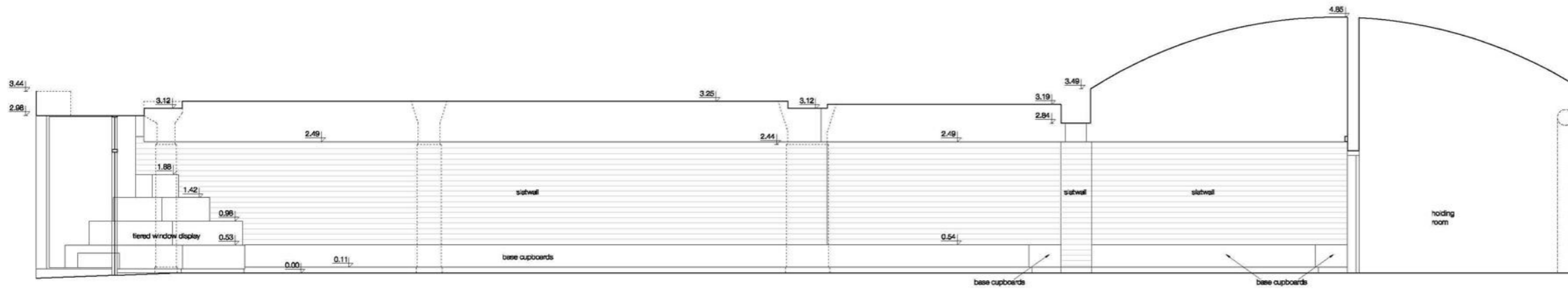
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1:250	1:500		

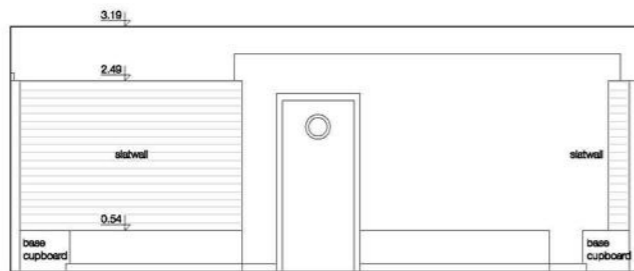
REV	DATE	AMENDMENT



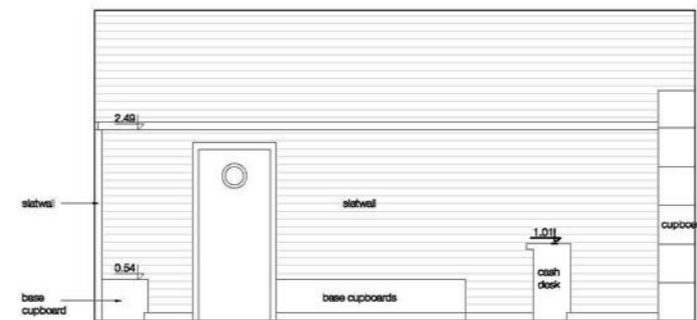
SECTION A-A



SECTION B-B



SECTION C-C



SECTION D-D

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Project Name  
Schuh Limited  
6 Frederick Street  
Edinburgh

Title  
SECTIONS AS EXISTING

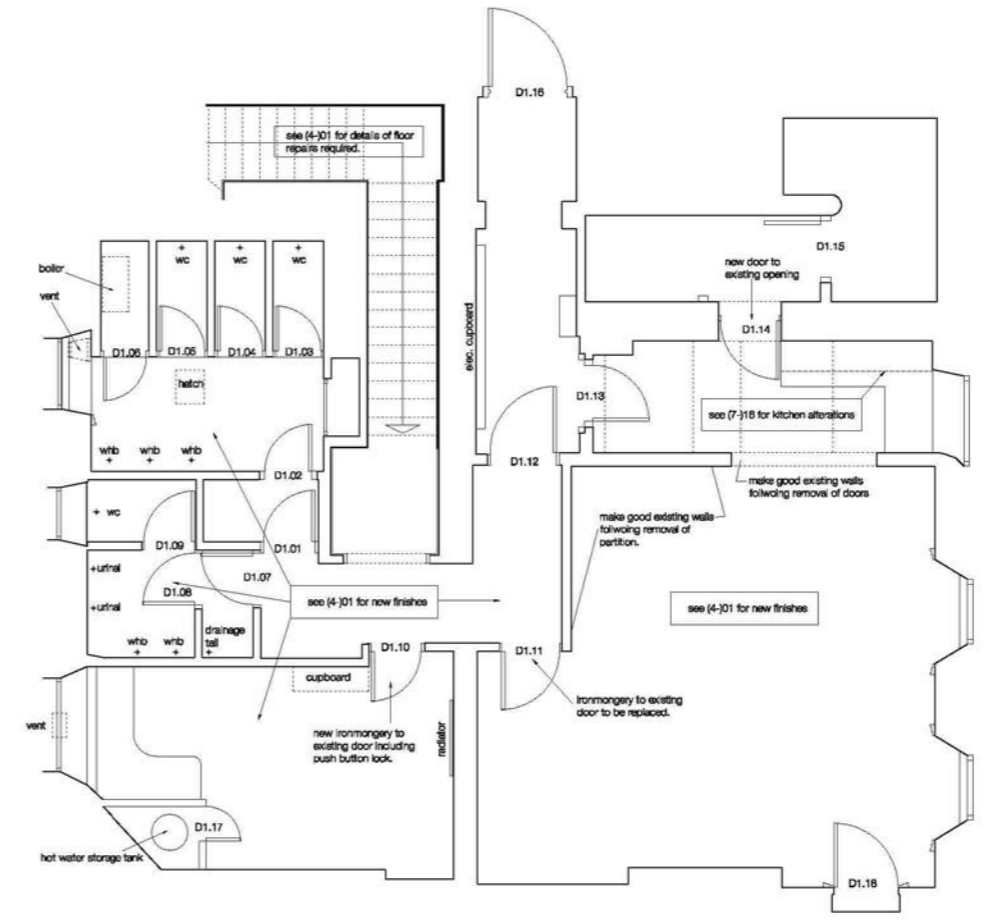
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Tender

Project no. - Drawing no. - Revision  
1627-(0)-05

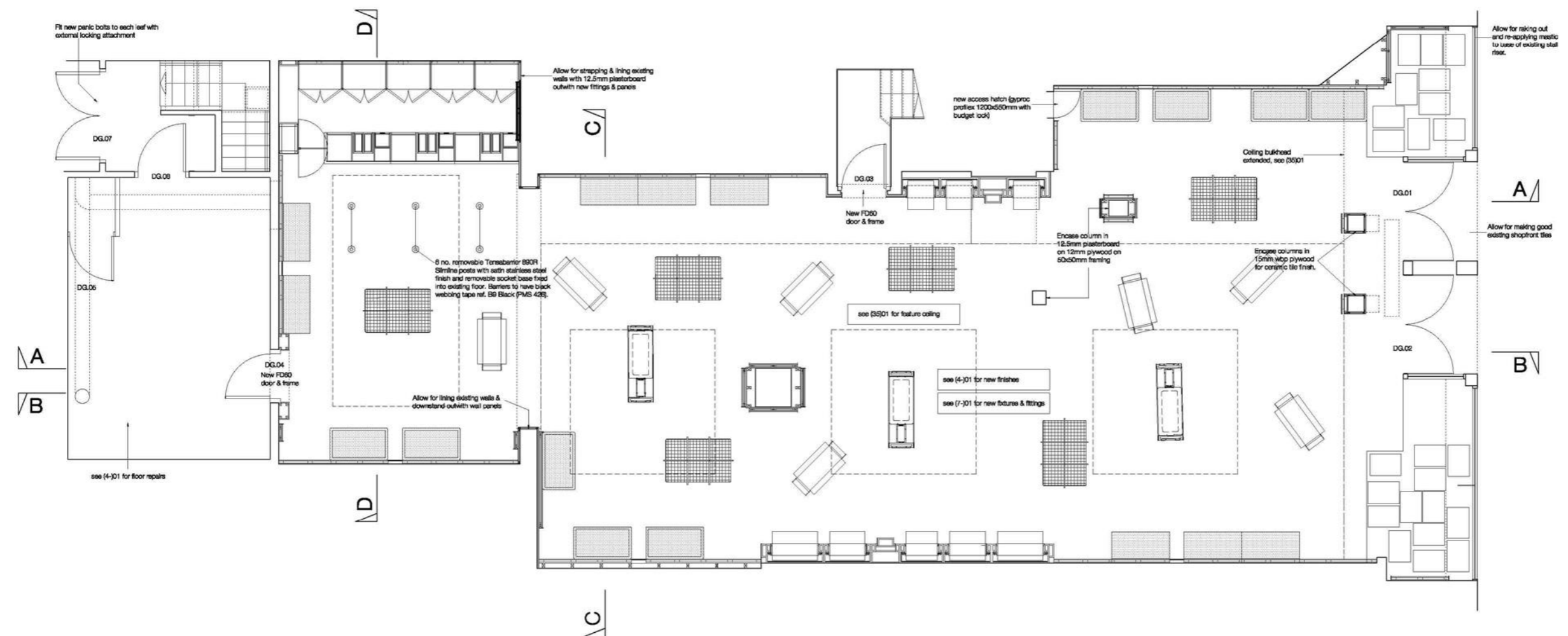
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Scale converter			
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1:10	1:20	1:25	1:50
1:50	1:100	1:100	1:500
1:200	1:500		
REV	DATE	AMENDMENT	

Basement works (plan not shown):  
 - Encapsulate columns & beams to encase asbestos boards as existing.  
 Refer to report for columns to be encapsulated.



FIRST FLOOR PLAN  
SCALE 1:50



GROUND FLOOR PLAN  
SCALE 1:50

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**Project Name**  
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 6 Frederick Street  
 Edinburgh

**Title**  
 GROUND AND FIRST FLOOR  
 GENERAL ARRANGEMENT PLANS

**Client**  
 Tender

**Project no. - Drawing no. - Revision**  
 1627-(0)-10

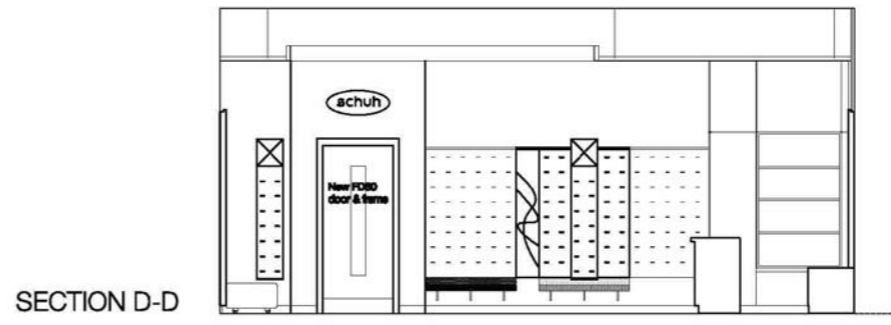
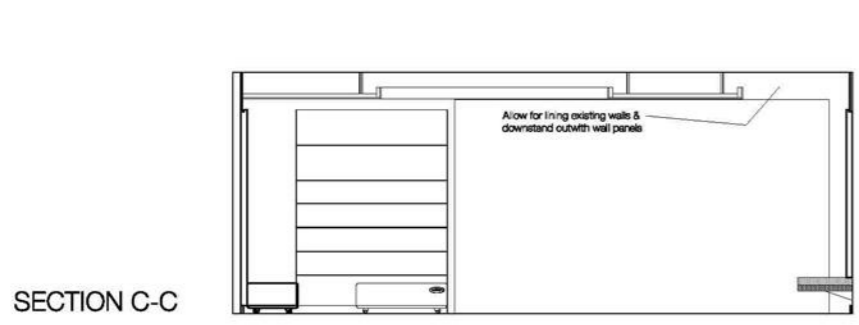
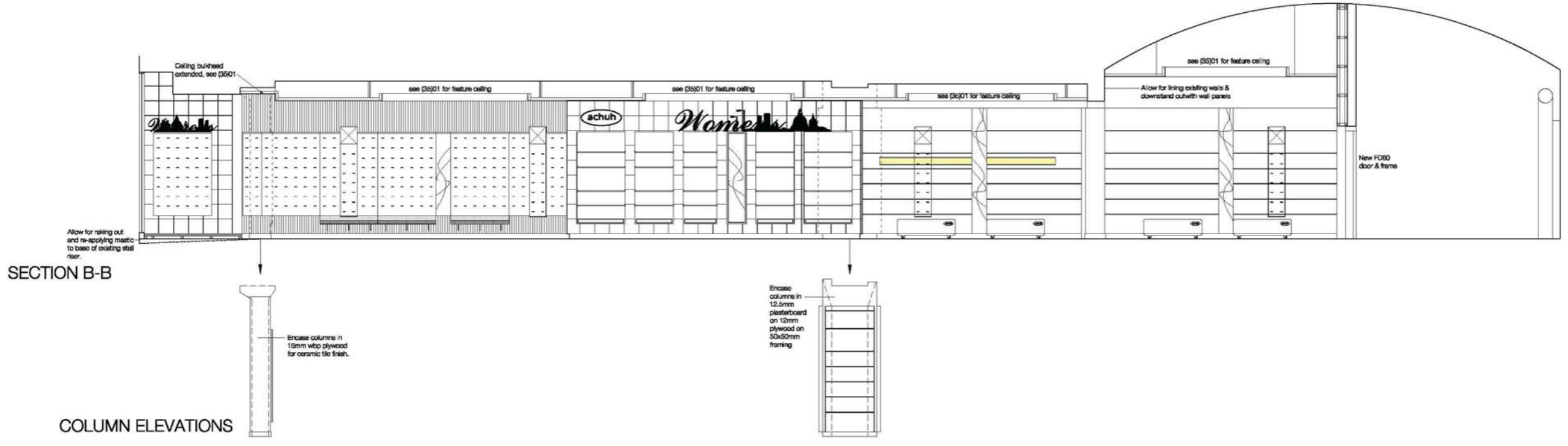
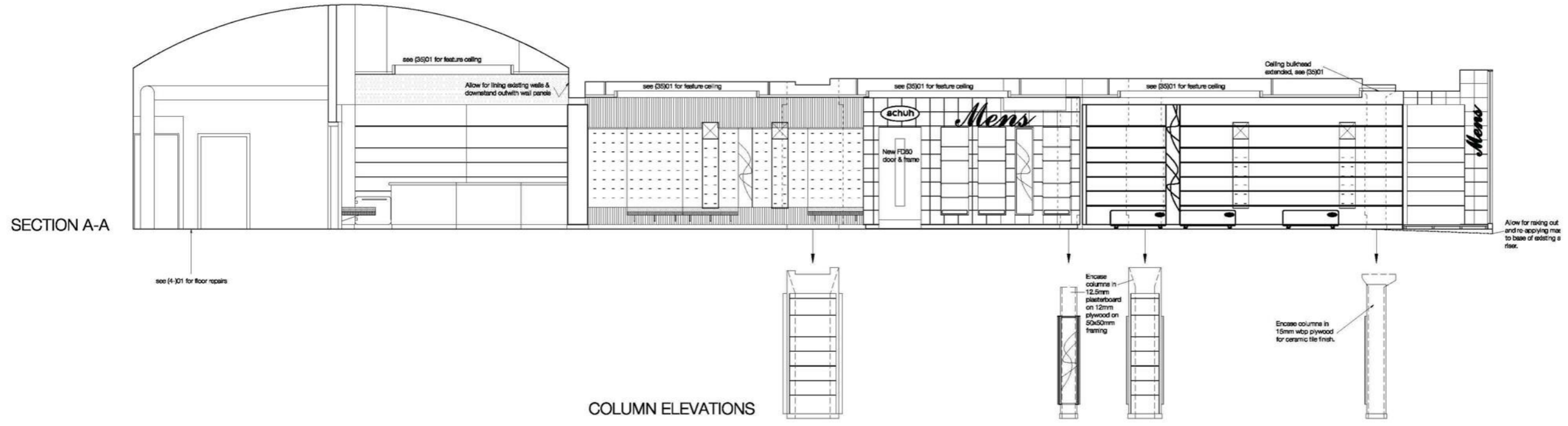
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 JS

**Check Date**  
 17/03/2009

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Scale converter			
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1:10	1:20	1:25	1:50
1:50	1:100	1:100	1:500
1:200	1:500		
REV	DATE	AMENDMENT	



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Project Name  
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Edinburgh

Title  
GENERAL ARRANGEMENT  
SECTIONS

Scale  
**Tender**

Project no. - Drawing no. - Revision  
1627-(0)-15

Drawn by  
JS

Checked by  
17/03/2009

Scale 1/4 @ A1  
1:50

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Scale converter			
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1:50	1:100	1:100	1:500
1:200	1:500		
REV	DATE	AMENDMENT	

**Downtakings Generally**

Existing sales floor to be stripped of all fixtures, fittings and finishes.

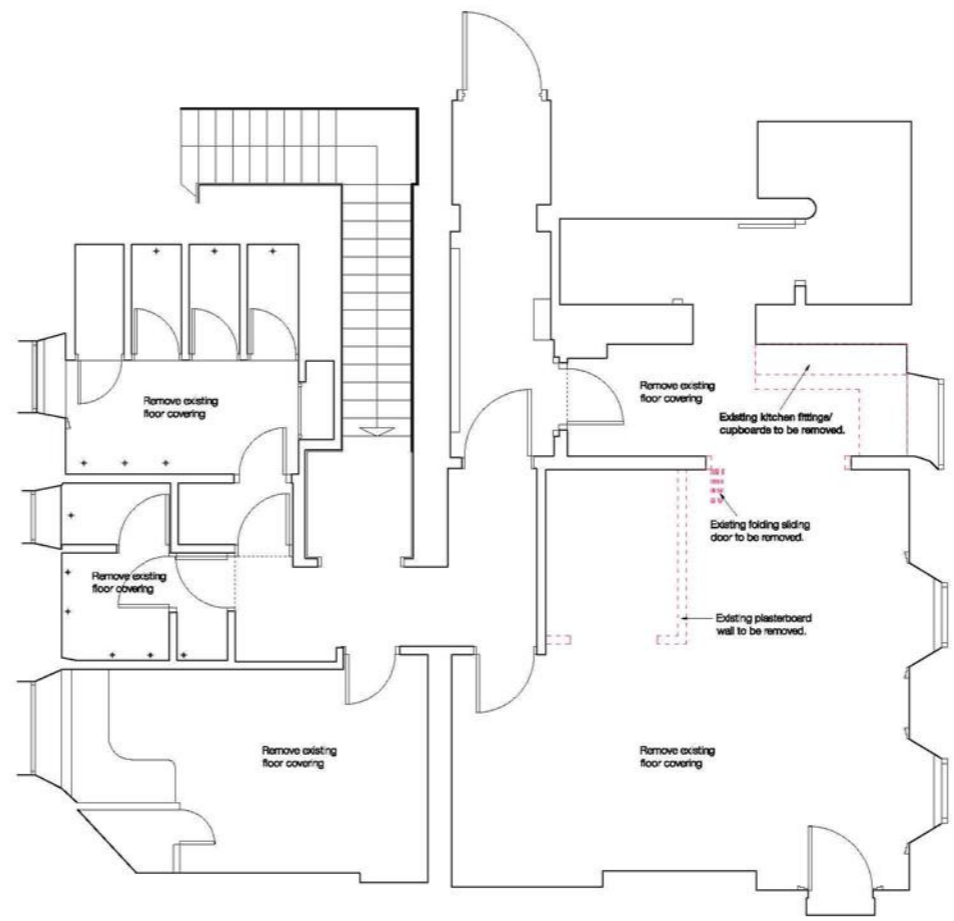
Existing electrics to sales floor to be isolated and stripped out where redundant.

Existing sales floor air-conditioning cassettes to be carefully taken down and set aside for re-use in new ceiling.

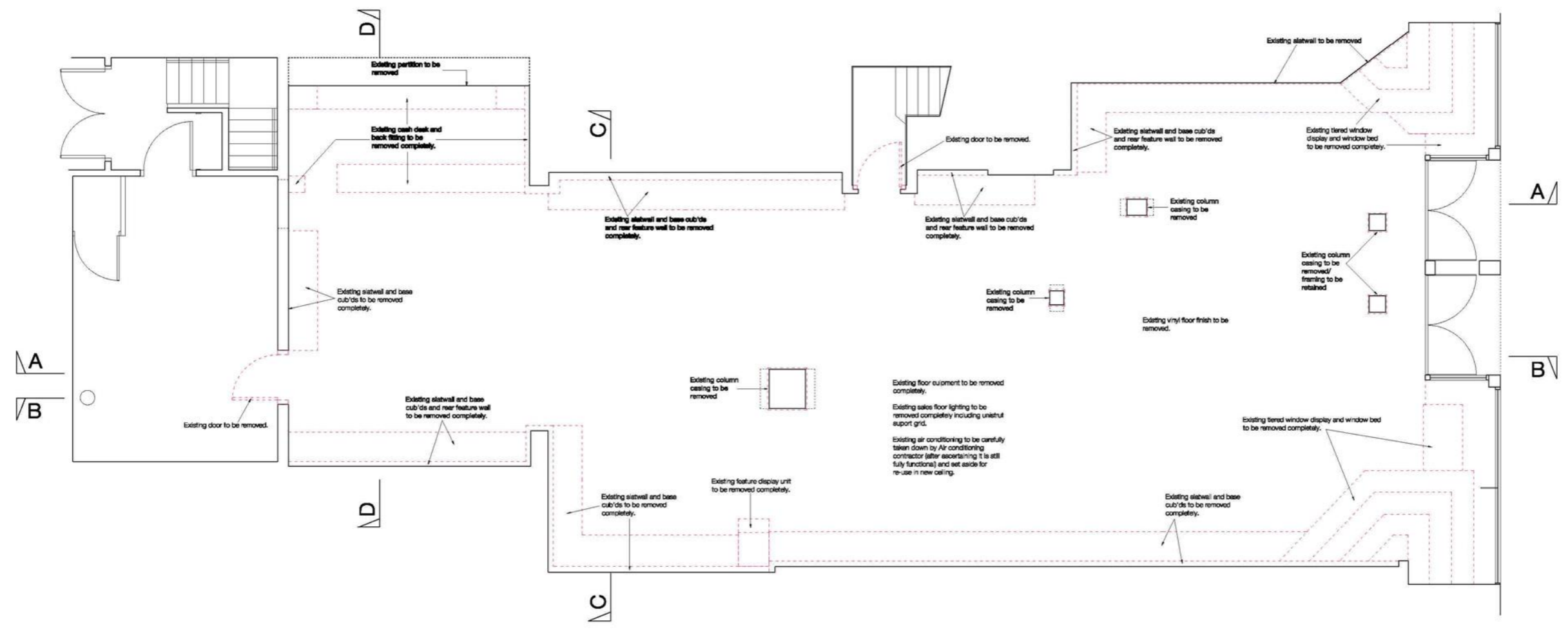
Existing floor finishes within sales floor to be removed.

Existing staff room kitchen fittings to be removed for replacement on like for like basis.

Make good all round before new works commenced.



FIRST FLOOR DOWNTAKINGS PLAN



GROUND FLOOR DOWNTAKINGS PLAN

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**Project Name**  
Schuh Limited  
6 Frederick Street  
Edinburgh

**Title**  
GROUND FLOOR AND FIRST FLOOR  
DOWNTAKINGS PLAN

**Scale**  
**Tender**  
Project no. - Drawing no. - Revision  
1627-(2)-01

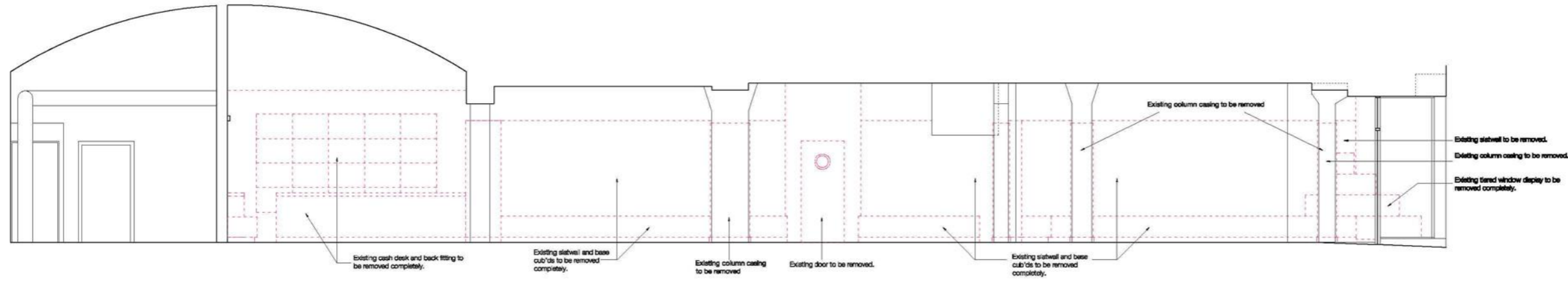
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JS

Checked by  
17/03/2009

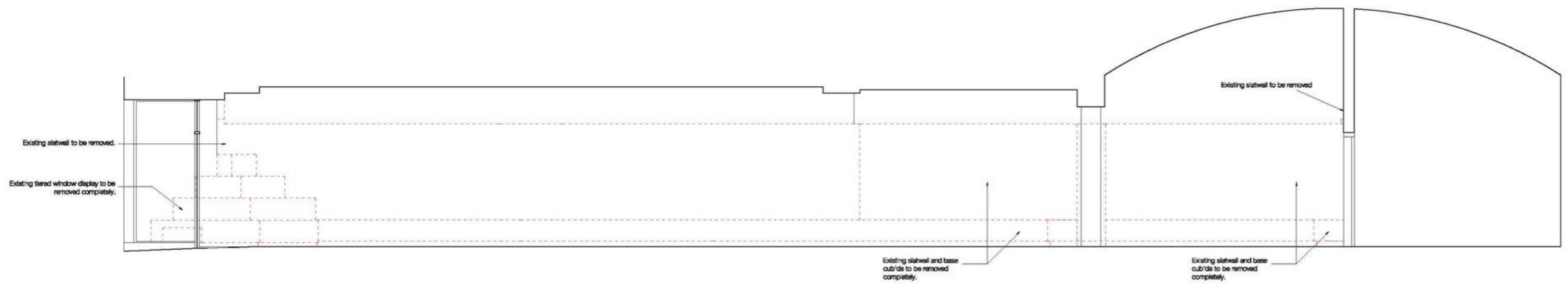
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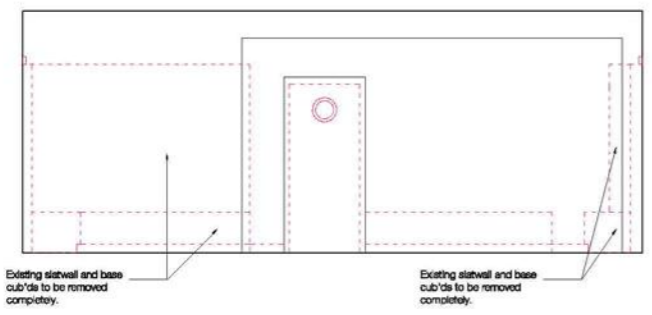
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REV	DATE	AMENDMENT	



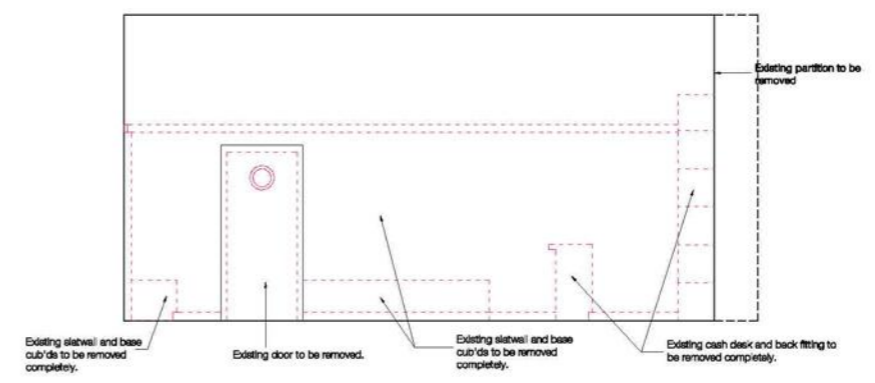
SECTION A-A



SECTION B-B



SECTION C-C



SECTION D-D



**Project Name**  
Schuh Limited  
6 Frederick Street  
Edinburgh

**Title**  
DOWNTAKINGS  
GROUND FLOOR  
WALL ELEVATIONS

**Scale**  
**Tender**  
Project no. - Drawing no. - Revision  
1627-(2)-02

**Drawn by**  
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**Checked by**  
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**Scale** 1:50  
**Client**  
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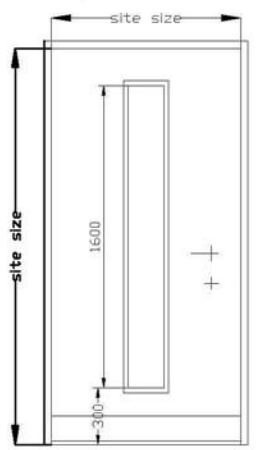
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Scale converter			
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REV	DATE	AMENDMENT	

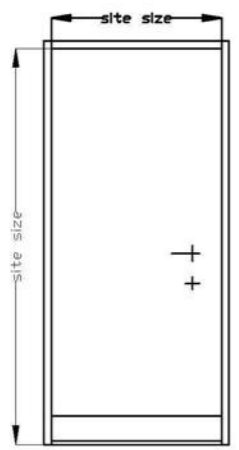
Door Schedule

Door No	Location	Type	Hand	Structural opening size (w x h x t)	Material	Finish	Glazing	Cyl. Lock	Fire Rating	Grille	self Closing	Notes
DG.01	Shopfront	-	DS	existing	glass	-	-	-	-	-	-	Existing doors retained
DG.02	Shopfront	-	DS	existing	glass	-	-	-	-	-	-	Existing doors retained
DG.03	Sales Floor / stairwell	A	LH	site size to suit existing opening	Timber	Laminate	6.4mmPSCG (+mirror film)	-	FD60S	-	✓	door faced with formic laminate (for colour ref. see below)
DG.04	Sales Floor / Clearing room	A1	RH	site size to suit existing opening	Timber	Laminate	6.4mmPSCG (+mirror film)	-	FD60S	-	✓	door faced with formic laminate (for colour ref. see below)
DG.05	Store	-	-	existing	Timber	-	-	-	-	-	-	Existing door retained
DG.06	Stairwell	-	-	existing	Timber	-	-	-	-	-	-	Existing door retained
DG.07	Fire exit	-	-	existing	Timber	-	-	-	-	-	-	Existing door retained, fit new panic bolts each leaf + locking attachment
D1.01	F <sup>2</sup> WC lobby	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.02	F <sup>2</sup> WC	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.03	F <sup>2</sup> WC	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.04	F <sup>2</sup> WC	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.05	F <sup>2</sup> WC	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.06	F <sup>2</sup> WC	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.07	M <sup>2</sup> WC lobby	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.08	M <sup>2</sup> WC	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.09	M <sup>2</sup> WC	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.10	Cash Office	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained, new ironmongery including unigan lock
D1.11	Staffroom	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained, new ironmongery
D1.12	Escape corridor	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.13	Kitchen	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.14	Kitchen	RH	B	site size to suit existing opening	Timber	-	-	-	-	-	✓	
D1.15	Storeroom	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.16	Fire Exit	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.17	Boiler cub'd	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained
D1.18	Staffroom cub'd	-	-	existing	Timber	-	-	-	-	-	-	Existing doors retained

\* Vision panels - refer to Door schedule for doors requiring vision panels



**Door Type A**  
 44mm thick solid core (laminated s/w) timber door with Formica laminate facing both sides (colour F2283 diamond black, VFP grade) with 60min. fire rating. Vision panels to have satin stainless steel trims this door type only.



**Door Type B**  
 44mm thick solid core (laminated s/w) timber door with paint finish.

**Door Type A1**  
 44mm thick solid core (laminated s/w) timber door with Formica laminate facing both sides (colour F6903 Cassis veLOUR, VFP grade) with 60min. fire rating. Vision panels to have satin stainless steel trims this door type only.



Project Name  
 Schuh Limited  
 6 Frederick Street  
 Edinburgh

Title  
 Door Schedule and Types

Scale  
**Tender**  
 Project no. - Drawing no. - Revision  
 1627-(3)-01

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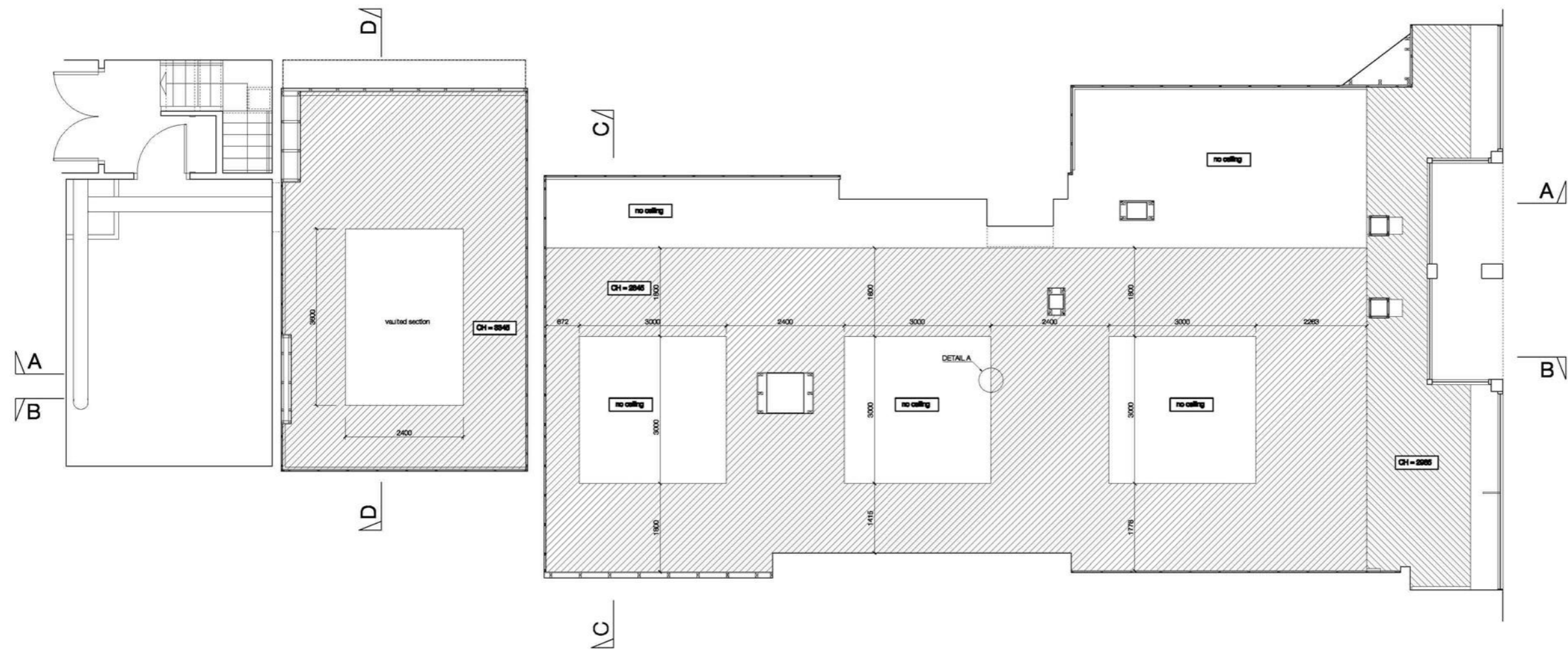
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 SAC  
 Date  
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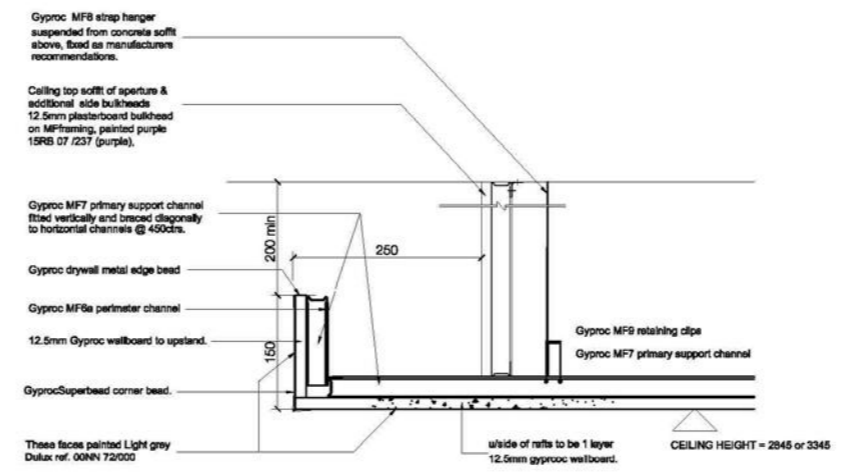
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Scale converter			
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1:10	1:20	1:25	1:50
1:50	1:100	1:100	1:500
1:200	1:500		
REV	DATE	AMENDMENT	



CEILING PLAN 1:50



DETAIL A SCALE 1:5

Note - small light fittings, smoke detectors etc may be fixed to/supported by ceiling refl. Larger fittings etc must be independently supported from slab above.

Note - where refl has recessed lighting track, inside of refls to be 1 layer 15mm wip plywood faced with 1 layer 15mm gyproc wallboard. \*\* o/s thickness must be 30mm to accommodate recessed lighting tracks\*\*



**Project Name**  
Schuh Limited  
6 Frederick Street  
Edinburgh

**Title**  
GROUND FLOOR CEILING PLAN

**Scale**  
**Tender**  
Project no. - Drawing no. - Revision  
1627-(35)01

**Drawn By**  
JS  
**Checked By**  
17/03/2009  
**Scale** 1:50  
**Project Name**  
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Scale converter			
A1 Scale - A3 Scale	A1 Scale - A3 Scale	A1 Scale - A3 Scale	A1 Scale - A3 Scale
1:1	1:2	1:5	1:10
1:10	1:20	1:25	1:50
1:50	1:100	1:100	1:500
1:200	1:500		
REV	DATE	AMENDMENT	

**Floor finishes**

- F1 Vinyl flooring as spec. M50.
- F2 Carpet Tiles as spec. M50
- F3 Ceramic Tiles, Reflex Blanco Honed / rectified 442x442mm. Supplied by Focus Ceramics
- F4 Amtico Special Clipstone R-230703CU-SS-B - 457mm x 457mm bevelled edges with PU coating. All tiles to receive 3mm lacing strips Amtico CN139 Concrete Grey. All tiles must be laid with Amtico SF (Solvent Free) adhesive. Any areas where the tiles are subject to direct summer sunlight (eg window beds) Amtico HT (High Temperature) Adhesive must be used.

**Wall finishes**

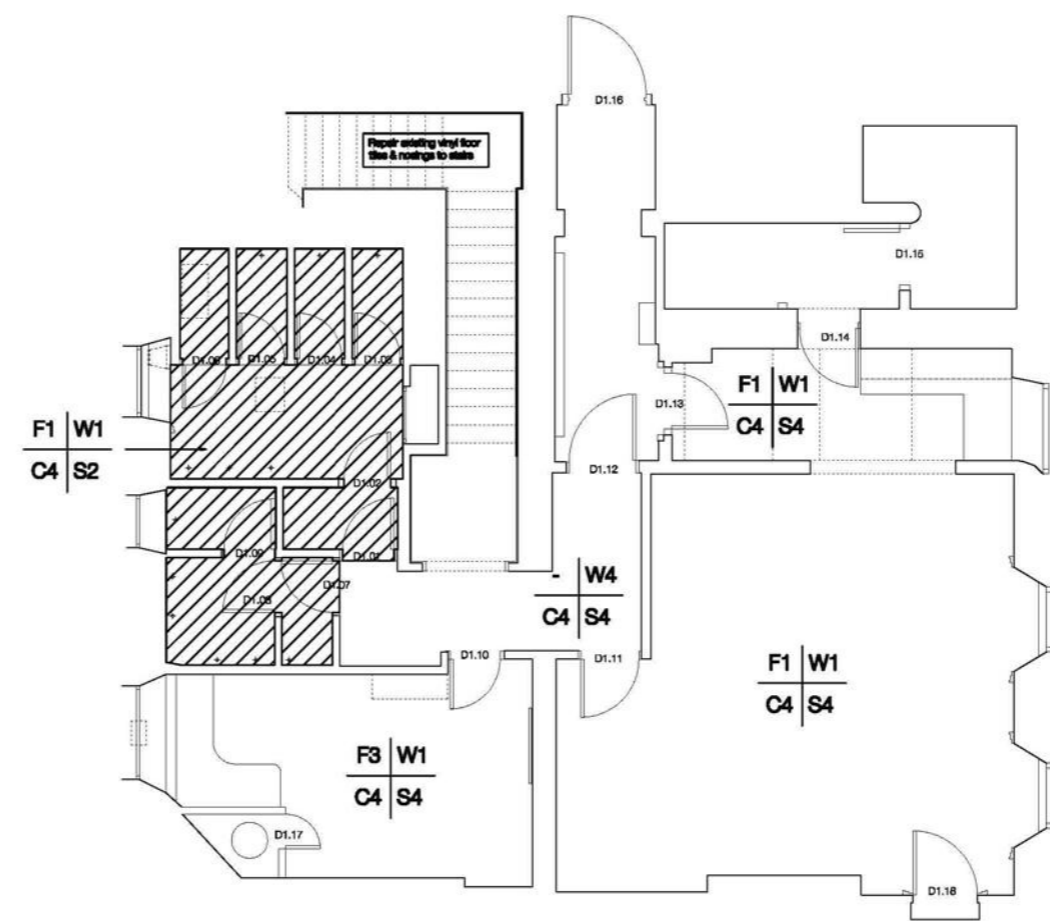
- W1 Plasterboard / Blockwork Painted.
- W2 Plasterboard painted above/below line of wall panels/shoptitting items only. For the detail of shoptitting refer to (7-) series drawings
- W3 Plasterboard /blockwork painted with 2mm aluminium sheeting to 1600mm above FFL, matt emulsion above as NBS clause M50.
- W4 Existing wall painted above timber panelling.

**Skirting finishes**

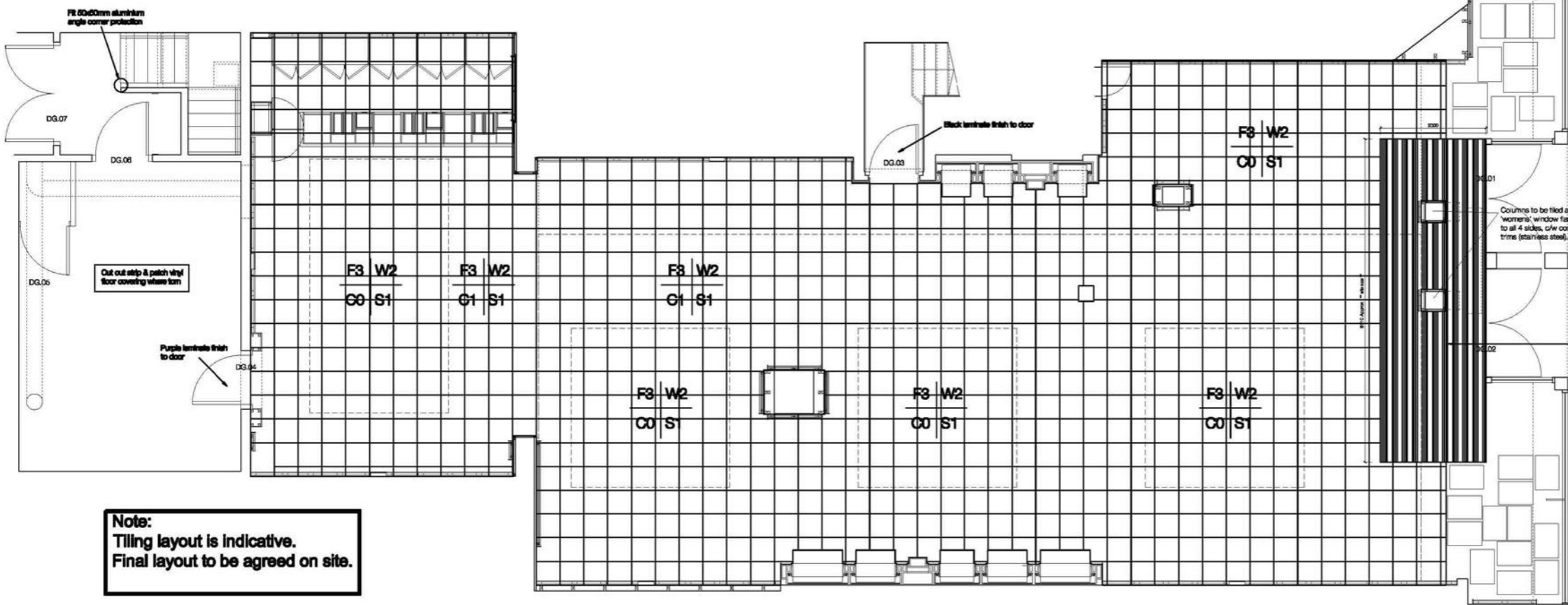
- S1 Grey laminate faced skirting, refer to (7-) shoptitting drawings for details, supplied by Woodstyle.
- S2 New all-on vinyl skirting.
- S3 New timber / mdf skirting, 100mm high, paint finish.
- S4 Existing skirting painted.

**Ceiling finishes**

- C0 No ceiling, painted soffit. Refer to (35)01.
- C1 New Gyproc Mf plasterboard feature ceiling, refer to (35) series ceiling drawings for details.
- C2 New Gyproc Horizontal Shaftwell Ceiling.
- C3 New Armstrong or similar 600x600mm modular grid and tile type suspended ceiling
- C4 Existing ceiling to be re-painted.



FIRST FLOOR FINISHES PLAN



New entrance seating to doorway as below:-

**MATWELL & FRAMER**  
 Manufacturer: Graden Limited, Park Green, Mansfield, Chester BK11 7LZ, Tel: 01655 439922, Fax: 01655 439949 Email: sales@gradenworld.com Web: http://www.gradenworld.com  
 Product reference: FRAG01 Matwell Panels  
 Material: Aluminium angles.  
 Fabric: Mill finished.  
 Angles: Corners milled and welded.  
 Angle size: manufacture std. also. Matwell also refer to drawings.  
**ENTRANCE MATTING:**  
 Manufacturer: Graden Limited, Park Green, Mansfield, Chester BK11 7LZ, Tel: 01655 439922, Fax: 01655 439949 Email: sales@gradenworld.com Web: http://www.gradenworld.com  
 Product reference: Eplexmat plus matting.  
 Colour: from standard range.  
 Size: refer to drawings.  
 \*\* matting to extend 2m into into store from doors \*\*



**Project Name**  
 Schuh Limited  
 6 Frederick Street  
 Edinburgh

**Title**  
 GROUND FLOOR AND FIRST FLOOR FINISHES PLAN

**Scale**  
**Tender**  
 Project no. - Drawing no. - Revision  
 1627-(4)-01

**Drawn By**  
 JS

**Checked By**  
 JS

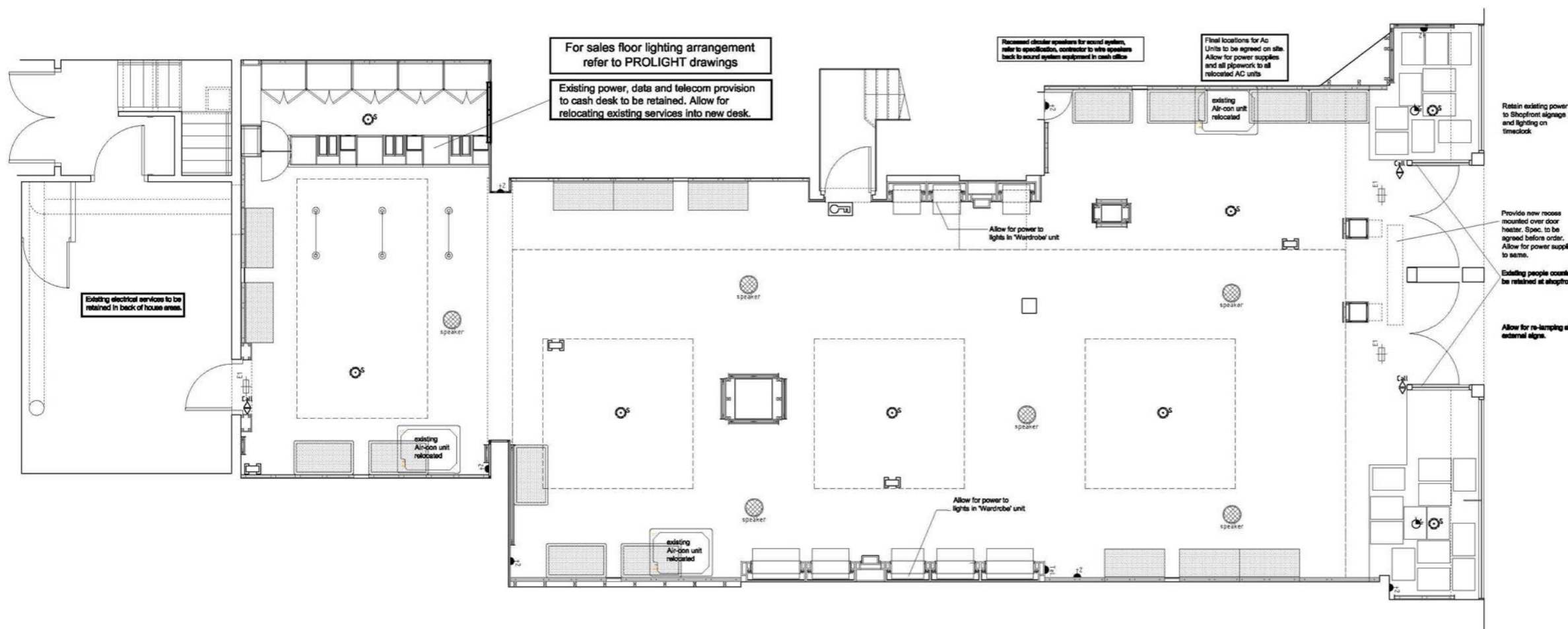
**Issue Date**  
 17/03/2009

**Scale 1:1**

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GROUND FLOOR FINISHES PLAN

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Scale conversion			
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1:1	1:2	1:5	1:10
1:10	1:20	1:25	1:50
1:50	1:100	1:100	1:500
1:200	1:500		
REV	DATE	AMENDMENT	

## GROUND FLOOR ELECTRICAL LAYOUT

### SERVICES & REQUIREMENTS FOR SERVICES INSTALLATION

**General Requirements**

Service installations are contractor designed, drawings are indicative of fitting type / location only.

**Installation Standards**

The Tenant's engineering services installation shall be in accordance with the following reference standards and any other statutory requirements. All shall be to the current edition inclusive of all latest amendments.

BS7671: 2018  
BS5839: 2002  
BS5466: 2002  
BS5938: 2002  
BS5939: 2002  
BS5959: 2002  
BS6841: 2002  
BS6843: 2002  
BS6845: 2002  
BS6846: 2002  
BS6847: 2002  
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BS6886: 2002  
BS6887: 2002  
BS6888: 2002  
BS6889: 2002  
BS6890: 2002  
BS6891: 2002  
BS6892: 2002  
BS6893: 2002  
BS6894: 2002  
BS6895: 2002  
BS6896: 2002  
BS6897: 2002  
BS6898: 2002  
BS6899: 2002  
BS6900: 2002

**Electrical Supply / Installation**

The existing electrical installation is to be largely retained and re-used. The contractor must carry out a full survey of the existing installation to verify that it is safely installed and fit for purpose.

These drawings generally show only those fittings intended as 'New' or 'Additional'. Existing retained fittings have not been surveyed. Full extent of alterations to the existing system to be agreed on site with client and Architect.

The contractor should facilitate themselves with the supply and ensure that it meets their requirements in terms of capacity.

The existing installations on the sales floor should be stripped out back to the distribution board.

Electrical inspection and test completion certificate by NICEIC approved contractor will be required upon completion of the works.

The Contractor is responsible for ensuring that only 110V electricity is used during the fit out works. The use of 240V tools and equipment is strictly prohibited.

Electrical conductors shall be regulated with NICEIC or equivalent associations.

In particular, the following are specific requirements regarding the electrical installation work:

- Low voltage and flame cables (LVC) must be utilized throughout.
- Installations must be installed in screened galvanized metal or plastic conduit / trunking or MDCC or LSP / RPA shielded cable, on cable tray or clipped direct to the structure.
- Extra low voltage installations e.g. Fire alarm, CCTV, Telephone or any other ELV application, must be fully segregated and protected from all mains cables throughout their entire length.

Any redundant or surplus to requirements electrical wiring and/or fittings, above or below suspended ceiling, must be removed prior to electrical handover and an inspection made to confirm that this has been undertaken. In each instance, hand plug outlet flexible cables within ceiling voids must not exceed 2m in length.

**Electrical Installation General Requirements**

The electrical installation is to be contractor designed, the drawings are for indication of fitting type and location only.

The contractor must provide an accessible means of isolation, adjacent to the meter, by which the whole of their premises can be disconnected.

Any electric motors installed by the contractor shall maintain a high power factor with all noise, vibration and pollution kept to a minimum.

Electrical drawings and details of the proposed electrical installation will be required as part of the detail drawing submission.

Information required in this drawing package will include but not be limited to, distribution schematics, loadings per phase, illumination levels, emergency lighting facilities, and manufacturer's details for all equipment.

Upon completion of the electrical installation, the contractor shall provide an NICEIC / RECI test certificate.

**Mechanical Services**

**General requirements**

**Heating, Ventilation & Cooling Services**

Existing systems to be retained in situ. Allow for relocation of Air-conditioning cassette units on sales floor only. The contractor must fully survey and test the existing systems to verify their type, condition and fitness for purpose. Allow for full service to all systems.

Refrigerants must be recovered and not allowed to escape into the atmosphere. Systems containing polluted air shall be treated adequately to prevent nuisance smells or hazard to health.

All new refrigerant pipe runs must be clearly shown on all drawings, double insulated pipes are required in service corridors. Condensate drain routes are to be agreed with the architect.

The type of refrigerant used must be clearly marked on all refrigeration equipment and must have zero ozone depleting potential.

All new plant shall be clearly labeled with Tradebyte Labels mounted to the equipment denoting the line of the plant, contractor and unit number. Test certification should be provided for all heating and refrigeration equipment.

Any pipes passing through the breaks are to be sealed around their edge to ensure the required integrity of the fire break.

All heating and ventilation equipment must automatically shut down on activation of the fire alarm.

**Fire Alarm**

The existing system is to be fully surveyed and tested by the contractor. The contractor is to advise its condition, operation and fitness for purpose.

The existing system is to be modified to suit the new building layout and additional requirements noted on the drawing, then re-commissioned and tested.

The contractors equipment shall be selected to be compatible with the existing system and operated to avoid false alarms, e.g. use of temperature rise heat detection systems in liftshafts.

All ceiling void devices are to be provided with associated remote indication lamps.

All Fire Alarm installations must be wired in MDCC with LSP shielded light duty 003 volt grade. All installations must be correctly made off complete with correct type of shroud. All cables to be individually identified at each end with a letter or number.

Upon completion of the contractor's fire alarm system, the contractor is to provide a compliance certificate to BS 5839.

A full functional test of the fire alarm system is to be undertaken to re-prove the system.

The fire alarm is also required to be activated upon operation of the manual call points.

**Security Alarm system**

Existing system to be retained, items requiring to be moved or temporarily taken offline for the works to be carried out by Schulz's named supplier 'Pulsar Alarm'. Contractor to provide drawings for approval prior to commencing installation.

**Notes**

- All electrical services shown are indicative of position only. Final locations to be agreed on site.
- Allow for supplies to all illuminated signs, lightboxes etc. for shoplifting lanes in sales areas. Refer to (7-) series drawings. Note: lights to shopfront window area and shopfront signage to be on time switch.
- Contractor to carry out full survey and testing to existing installations.
- Allow for telephone/internet installation as spec., locations shown on drawing are indicative, final locations of all points to be agreed on site.
- All electrical works to comply with BS7671 and the building standards. All new emergency lighting to comply with BS5266 pt.1 1999.
- All electrical services are to be contractor designed.
- Fire detection and alarm to be altered to suit new sales floor layout and ceiling.
- Allow for all necessary electrical supplies to air-conditioning plant etc.
- Allow for all necessary electrical supplies to roof mounted plant, lighting etc.
- Allow for 'lightning protection' to roof mounted plant where req'd.
- Illuminated fire exit signage - The contractor is required to install signs with graphics in accordance with Council Directive 89/106/EEC and incorporate the word 'FIRE EXIT'.
- Emergency lighting coverage to be provided in all parts of the unit accessible to the public and on all escape routes within the unit will be designed, installed and commissioned in accordance with BS 5266-1:1999. Emergency (escape) lighting will provide adequate illumination of all escape signage, the alarm call points and the lighting equipment. Illuminated exit signage to be provided at the front and rear escape routes. (Internally illuminated).
- All telephones for outside use on sales floor to be bricked stainless steel. All telephones elsewhere to be 'locked' exterior to wall finish in accordance with DDA requirements for visually impaired.

**Key to services/fittings**

- Light switch
- Pull cord light switch
- fused switch (neon indicator)
- 1amp SSSO
- 1amp DSSO
- Spur outlet at linked to fused switch
- Twin cat 5e socket
- TV point
- Telephone point
- fan
- Electric heater (Dimplex type)
- Bulkhead emergency exit light fitting, Thorn Voyager ref. EPX3 M, 3 hr maintained fitting with Eurogram sign.
- Bulkhead emergency exit light fitting Thorn Voyager recessed edgelight ref. EREL
- Bulkhead emergency exit light fitting Thorn Voyager Cinema Exit ref. EGX3 M
- ceiling mounted circular light fitting Thorn Novaline 28W 2D fluorescent ref.NVL02D28W or equal.
- ceiling mounted circular light fitting (3hr. maintained) as above but fitted with converter pack, Thorn ref.E3NVL02D28W or equal.
- Thorn 'Popular' range fluorescent batten 1500mm long, fitted with HF Ballast and single rack lighting reflector (asymmetrical reflector if wall mounted)
- As above but 3hr. maintained light fitting.

**Notes**

- 600x600mm modular fitting with CAT2 louvre
- As above but 3 hr emergency version.
- wall mounted circular light fitting Thorn Novaline 28W 2D fluorescent ref.NVL02D28W or equal.
- Instantaneous water heater, refer to spec.
- Warm air hand drier, refer to spec.
- Panic Button
- Ceiling mounted extract fan
- 30A isolator
- Distribution board etc.
- Bell sounder
- Door bell push
- Heat Detector
- Smoke Detector
- 24v sounder
- Break Glass call point for Fire alarm
- Smoke Detector in ceiling void with LED indicator below
- Electromagnetic door hold open device fitted to each leaf of door
- Keypad entry system
- Speaker
- info unit



**oberlanders**

Project Name  
Schulz Limited  
6 Frederick Street  
Edinburgh

The  
GROUND FLOOR  
ELECTRICAL LAYOUT

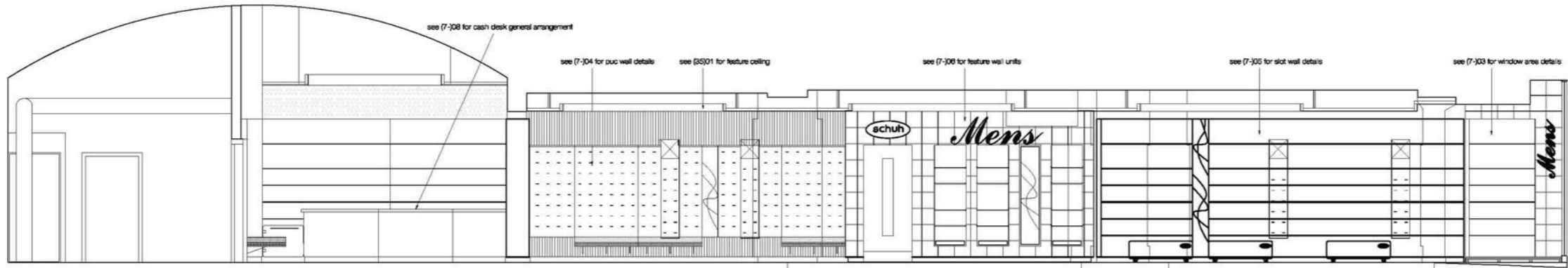
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**Tender**  
Project no. - Drawing no. - Revision  
1627-(6)-01

Drawn by  
JS  
Dates  
17/03/2009  
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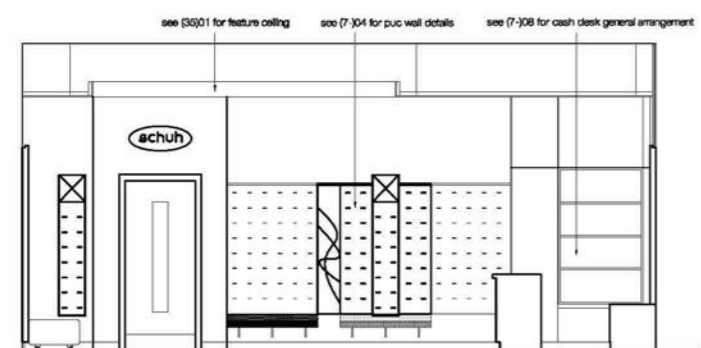
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10 Melville Street Edinburgh EH3 7JH  
T 0131 225 6270  
F 0131 220 8780  
E info@oberlanders.co.uk  
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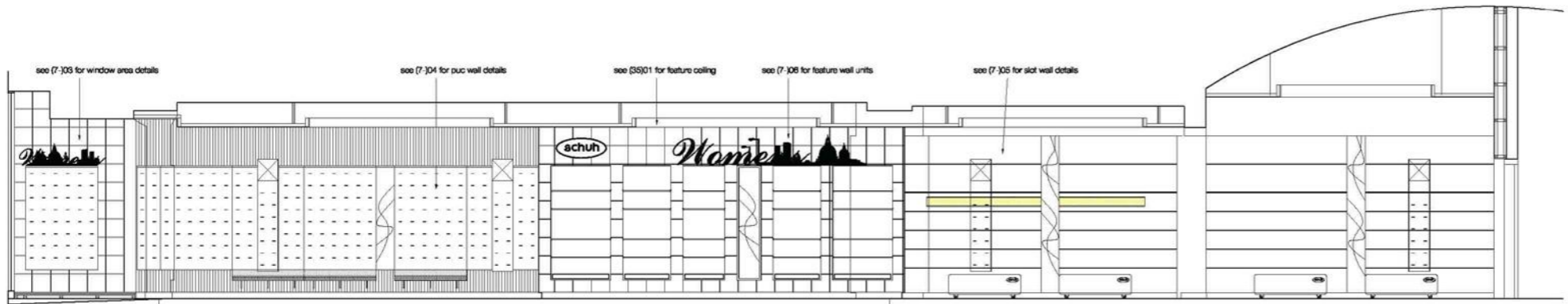
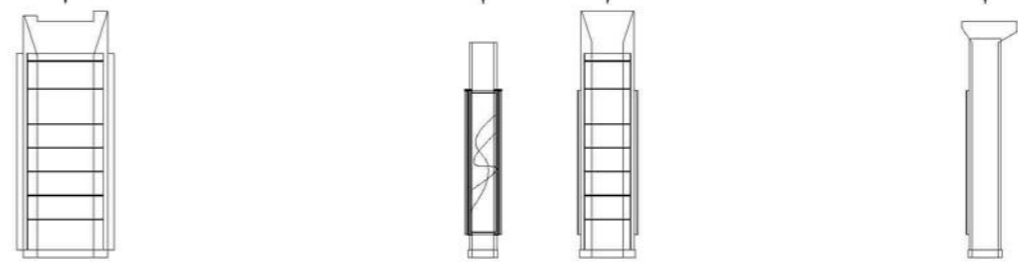
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REV	DATE	AMENDMENT	



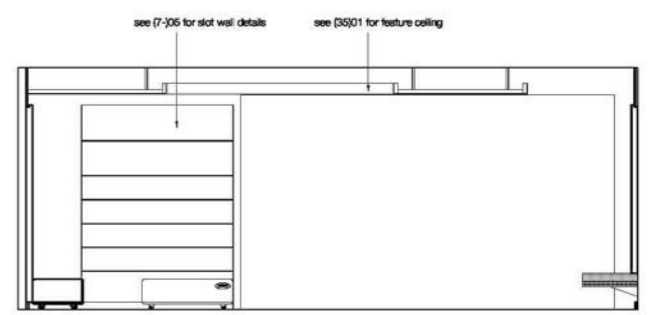
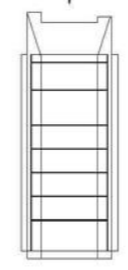
Section A-A



Section D-D



Section B-B



Section C-C



Project Name  
 Schuh Limited  
 6 Frederick Street  
 Edinburgh

Title  
 Sales floor Elevations  
 Shopfitting general Arrangement

Status  
**Tender**  
 Project no. - Drawing no. - Revision  
 1627-(7-) 02

Drawn by SAC	Checked by 20/03/2009	Scale 1/4 A1 1:50	Oberlanders Architects LLP 18 Market Street Edinburgh EH3 7JH T 0131 555 6270 F 0131 220 8788 E mail@oberlanders.co.uk www.oberlanders.co.uk
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**Window display cubes**

**Finishes:-**

**Womens Window**

Aqua green Laminate, Ref K1850 Fontana (\*\*TBC\*\*) by Formica.

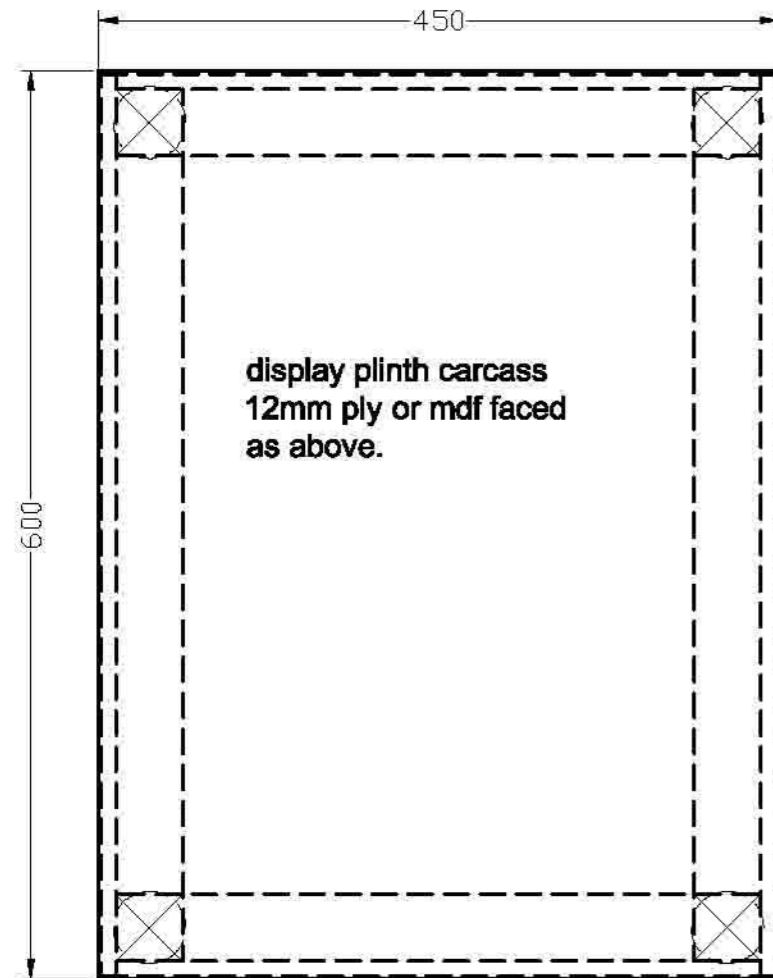
**Mens Window**

Oak veneered real wood laminate, ref. placage C073 (french white oak) by Polyrey.

**Number of plinths required:-**

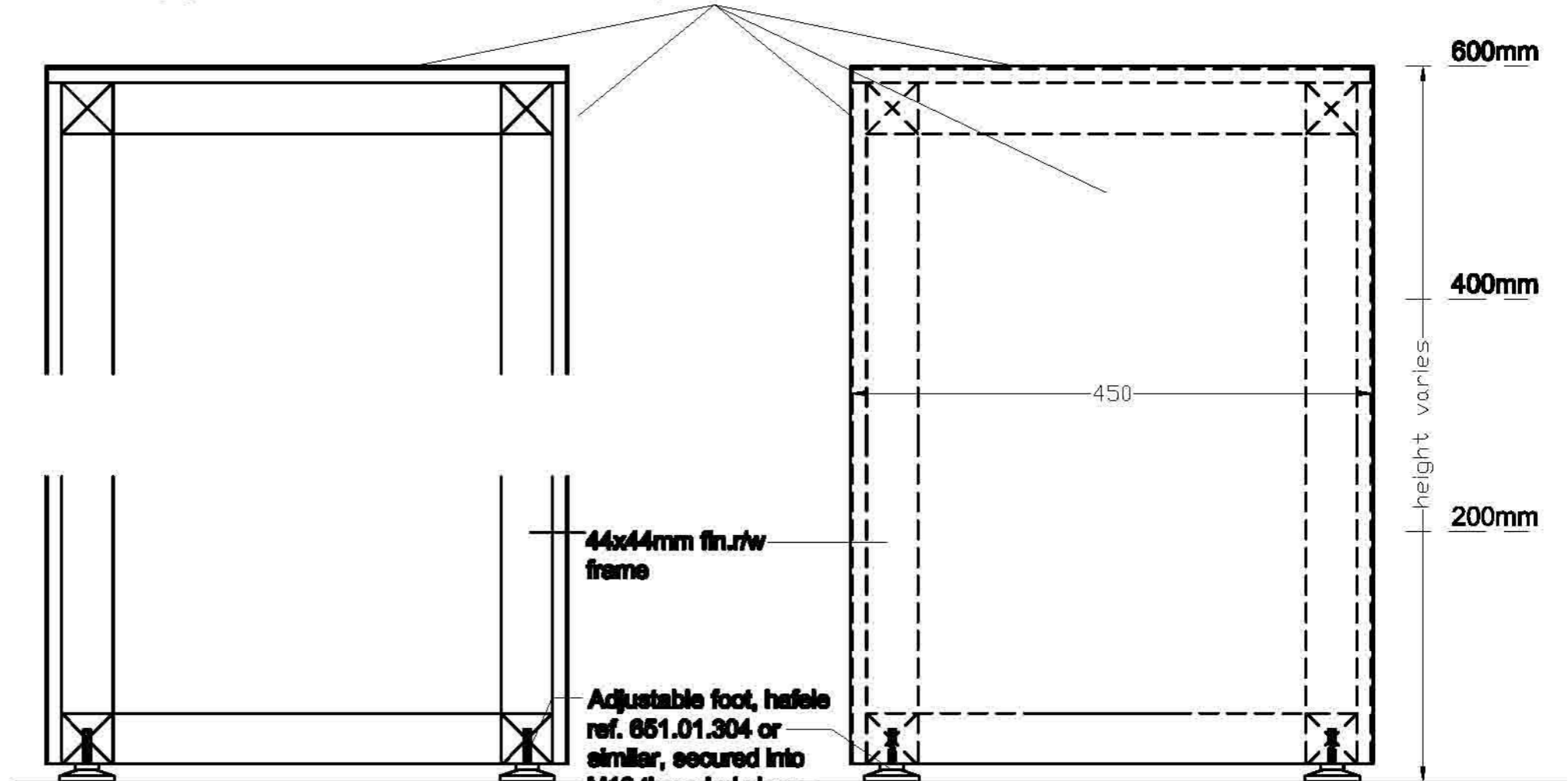
Ladies:	Gents:
5x 200mm	3x 200mm
2x 400mm	4x 400mm
2x 600mm	1x 600mm
1x 800mm	2x 800mm
	1x 1000mm

800mm



**Plan of display plinth**

\*\* all plinths are same size on plan\*\*



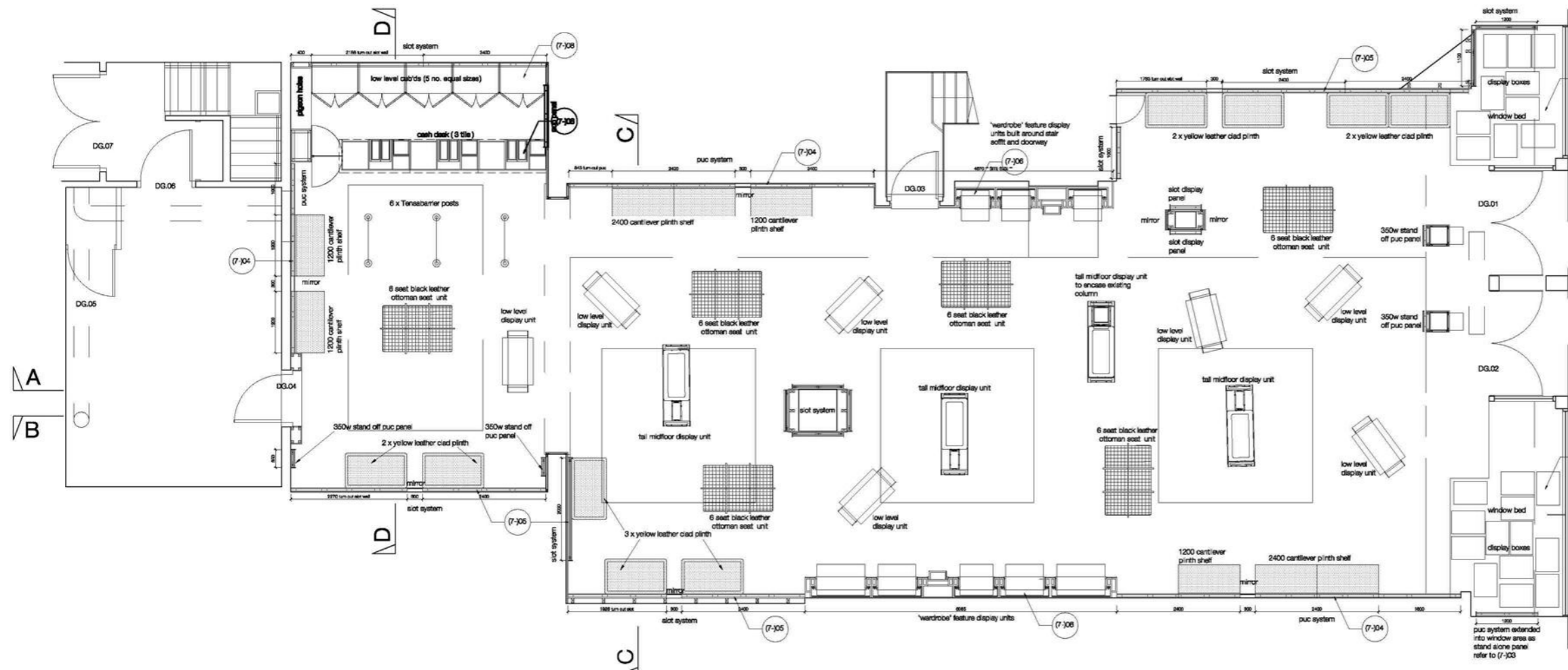
**section thro' display plinth**

**elevation of display plinth**

Project Name Schuh Limited 6 Frederick Street Edinburgh	Project no. - Drawing no. - Revision 1627-(7-) 24
Title Window Display Boxes	Status Tender
Drawn By SAC	Drawn Date 23/03/2008
Scale (A) 1:5	Oberlanders Architects LLP 18 Melville Street Edinburgh EH3 7NS T 0131 225 9070 F 0131 220 3783 E mail@oberlanders.co.uk www.oberlanders.co.uk

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- Standard Specification**
- Main sales flooring - Corvado**  
 Supplier: Fomes Corvado  
 Contact: CIB Munkers (tel. 01932 864881)  
 Spec: Polux Stone Flamed/brushed 442 x 442mm
- Perforated stainless steel**  
 Supplier: Fomes Corvado  
 Contact: CIB Munkers (tel. 01932 864881)  
 Spec: ES Black 800x300
- Paint**  
 Supplier: Dulux colour dimensions  
 Spec: 1678 07 237 (purple)  
 Spec: Dulux brilliant (white)
- Feature Wall & window beds - Corvado**  
 (gran)  
 Supplier: Fomes Corvado  
 Contact: CIB Munkers (tel. 01932 864881)  
 Spec: TA Black 300x300  
 (cream)  
 Supplier: Fomes Corvado  
 Contact: CIB Munkers (tel. 01932 864881)  
 Spec: TA White 300x300
- Surfaces - Laminates**  
 Dark Grey  
 Supplier: Formica  
 Spec: 'Sum' 7182
- Agua Green**  
 Supplier: Formica  
 Spec: K1680 Fontana ("TBC")
- Brushed Metal**  
 Supplier: Alud Intermetal  
 Spec: Brush Metal 675 Substrate or  
 Supplier: Formica  
 Spec: P2052 Brushed aluminium powder.
- Dark Purple**  
 Supplier: Formica  
 Spec: 'Cassini' P6903
- Surfaces - Timber**  
 Supplier: To approved  
 Spec: Oak - 18mm oak veneered panels (polyurethane 'lacquer' ref. C073)  
 - Birch white oak or similar. For 'veneer' surfacing to other materials use polyurethane 'lacquer' ref. C073 - Birch white oak or similar
- Surfaces - Leather**  
 Supplier: Bridge of Weir Leather Company Ltd  
 Contact: Richard Pilling (tel. 07938 880488)  
 Spec: GPT3 Paving Yellow

**Site Preparation**

**Roofing**  
 No boarding req'd. Shopfront windows to be boarded out and graphics (supplied by Schuh) to be applied only.

**Walls**  
 New wall fixings, shelving systems etc may take only horizontal restraint from unit perimeter walls. Loads to be transferred to floor via new studs.

**Ceiling**  
 New Gyproc MF raft structure is to be fitted throughout the sales floor, refer to drawing (20) 01.

**Doors**  
 Existing off-sides doors to be replaced with new. Laminates to be applied to the front face, with vision panel, in accordance with schedule.

**Decorations**  
 Main grid all perimeter walls to take 3 coats of matt emulsion in associated colours, to all walls that are to remain exposed after the installation of the perforated wall panels and central feature areas.  
 Men's wall to be painted in purple as old specification to ceiling level. Women's wall to be painted in white as old spec.

**Flooring**  
 Prepare for the new concrete floor to all flush with the kerbside tile in the entrance.  
 New concrete flooring as old specification is to be laid throughout the Sales floor, up to the point of the off sides door. This is to be done prior to the installation of the wall equipment, that should all be fixed on top of the flooring. Expansion strips should be allowed for where expansion joints are present in existing slab. Allow for suitable substrate bed and gravel, type to suit substrate.

**Refer to drawing (4-) 01.**

**Systems & equipment installation**  
 All merchandising equipment will be manufactured off site by nominated manufacturer Woodstyle. The main contractor is to allow to accept delivery, inspecting and assemble installation of the following items.

**Perforated wall - pane panels**  
 Refer to drawing (7-) 04 for typical details

To be supplied as 2400 / 1200mm panels and turn out also panels where appropriate, with split battens supplied to the rear, to allow to be fixed onto studwork by main contractor. Associated wall mounted plinths to be located as required, and fixed to the kerbside prior to the fitting of the wall panels, providing the impression of floating plinths. ( see 04 for sizes and locations). The feature large format images are to be used on the walls behind these panels when shown on the elevations.

**Perforated Wall - slotted panels**  
 Refer to drawing (7-) 06 for typical details.

Wall panels are to go directly to the floor, and feature yellow 'bars' to run within some wall panels (see elevations). Main contractor to allow for site assembly.

\*\* note with both panel systems alignment is critical. Panels out of line or 'off square' will not be accepted.

**Central feature Area (Men's & Women's)**  
 Refer to drawing (7-) 08.

Full external stainless steel trim is then to run around the perimeter of the walls, and fixed into position once fully assembled.

Main contractor to ensure that a flush front face to the display is achieved, to allow the feature cassette finish for each gender to be applied.

**Cashdesk**  
 Refer to drawing nos (7-) 08, 10 & 11. 3 ISH cashdesk, to be installed at the rear of the store. Corvado to be made as individual units, and then fixed together on site. Woodstyle to manufacture the desk, main contractor to assemble on site.  
 Main contractor to allow to pull off cables through into desk, and install Power, BT and data points as detailed on the drawings.

**Cashdesk back wall**  
 Refer to drawing nos (7-) 08

Perforated wall merchandising panels are to continue along the back wall behind the cashdesk.

Veneered timber base plinths with lockable keyboards are to be located at low level across the back wall, and run into the side plinths unit.

Glass security access swing door, with stainless steel hinges to be located between the cashdesk and rear lobby.

**Windows**  
 Refer to drawing nos (7-) 05.

The perforated wall panels on the side walls of the store are to continue into the windows for a single bay on both sides of the store.

**Midfloor units and miscellaneous merchandising equipment**  
 All midfloor equipment, seats and merchandising components to be supplied by Woodstyle, delivered to the store fully assembled, and are to be unpacked and located to the positions as indicated on the plans.

Contractor to liaise with Woodstyle and Schuh for delivery dates etc.

**Tile wall include**

- Midfloor Units (all sizes)
- Perforated Walling
- Window Plinths
- Hook on wall display panels
- Merchandising area (by Schuh)
- Mobile leather plinths
- Acrylic shelves for all areas (by Schuh)

**Display - Graphics & Signage**

**Internal Signage**  
 All new internal signage to be supplied and installed by FX signs  
 Main contractor is to ensure that all areas where the signage is to be installed are completed prior to the installation date for the signage.

**Internal graphics wall**  
 In 3No locations within the store, large format images are to be applied to the perforated wall, giving the perception that these continue behind the product. These will be printed onto wallpaper, and applied as wallpaper.  
 These are to be supplied by nominated large format graphics supplier (Woodcraft) and installed by main contractor's decorator.

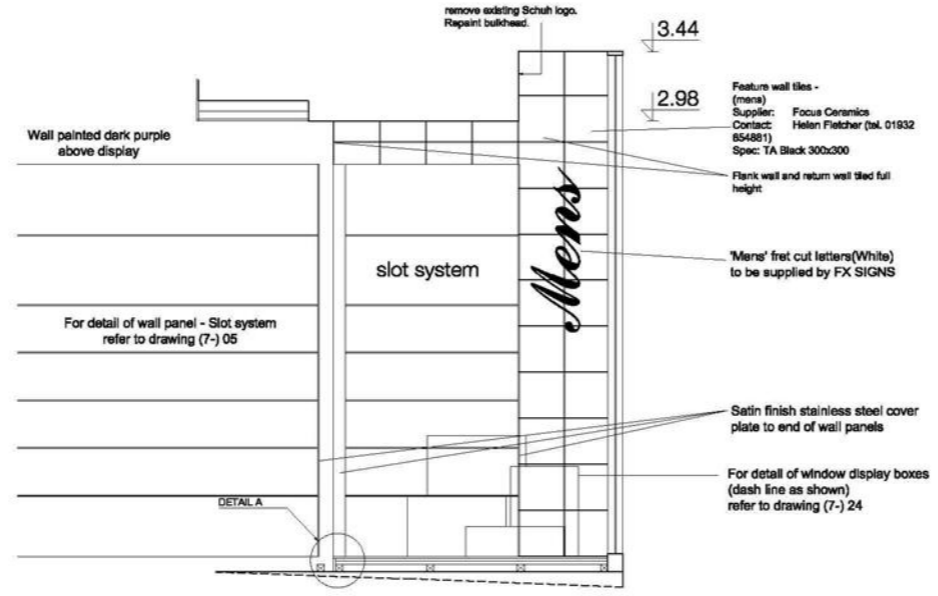
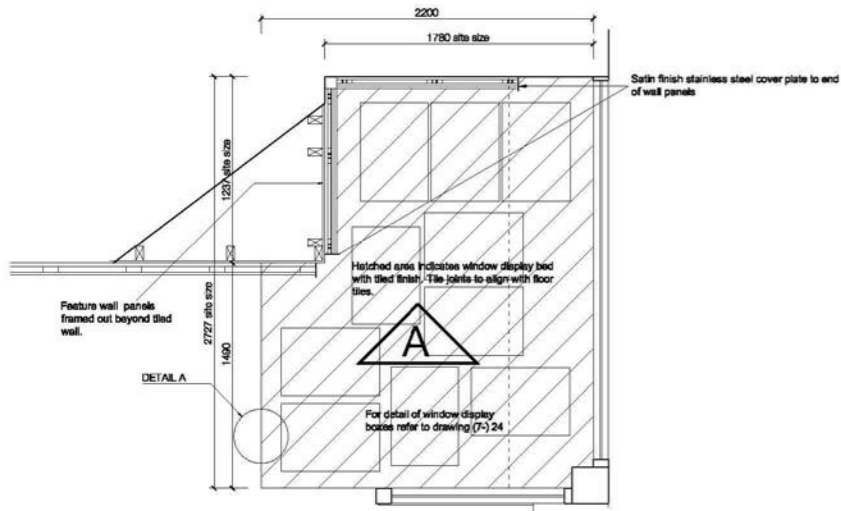
**Lighting**  
 Supply, wire and fit all light fittings and lamps as indicated on the drawings. All new sales floor lighting is to be sourced through nominated contractor ProLight Design.

**Power Supply**  
 Provide, wire and fit switched socket outlets and spurs to the positions and details shown on the context drawings for general purpose, site, computer equipment and mobile system etc. All sockets to the sales area are to be wired to the ELCB safety trip on the fire board. Sockets to sales area are to be mounted above the skirting board, and have stainless steel cover plates.

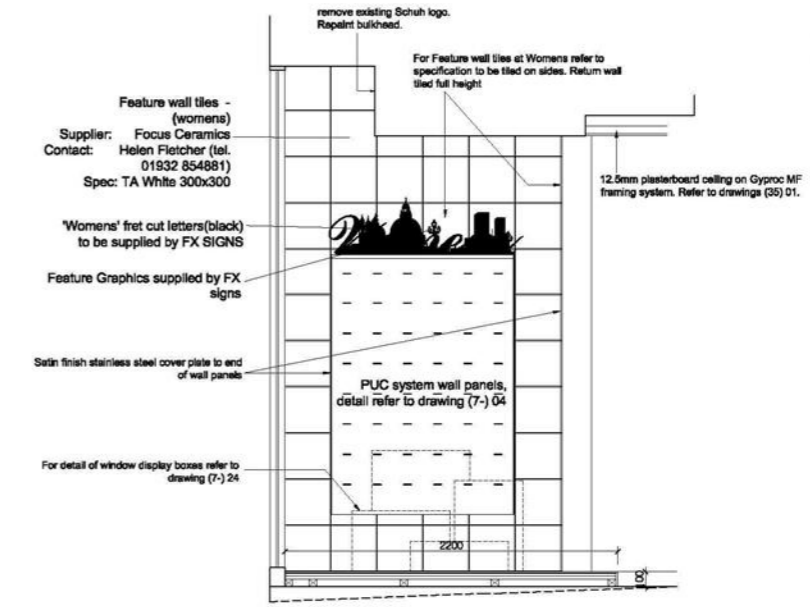
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Rev	Date	Amendment	Project Name	Project no. - Drawing no. - Revision
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			Tender	
			Obertenders Architects LLP 14 Leith Street Edinburgh EH6 7HS T: 0131 226 8273 F: 0131 226 8273 E: mail@obertenders.co.uk www.obertenders.co.uk	

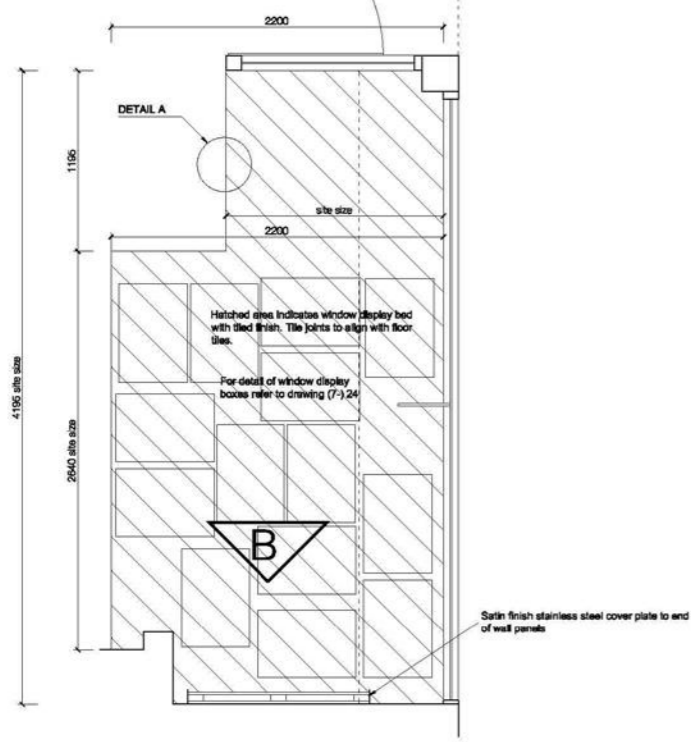
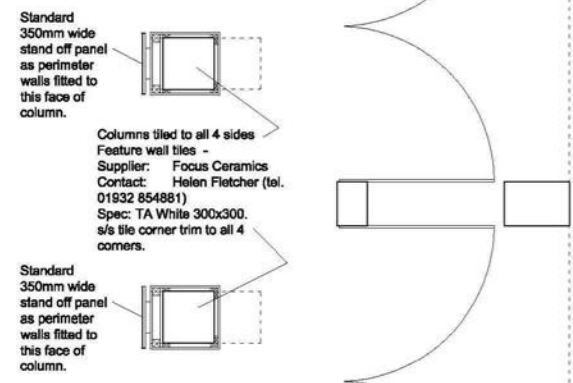
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REV	DATE	AMENDMENT	



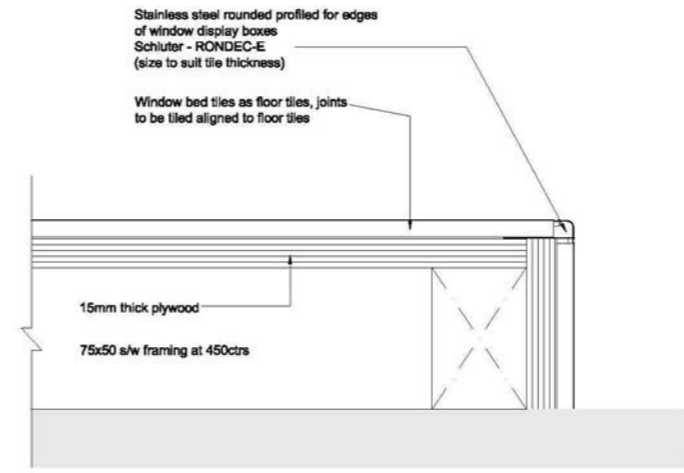
ELEVATION A  
SCALE 1:25



ELEVATION B  
SCALE 1:25



WINDOW BED PLAN  
SCALE 1:25



DETAIL A  
SCALE 1:2

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Project Name  
Schuh Limited  
6 Frederick Street  
Edinburgh

Title  
WINDOW BED DETAILS

Scale  
**Tender**

Project no. - Drawing no. - Revision  
1627-(7)-03

Drawn by  
JS

Checked by  
JS

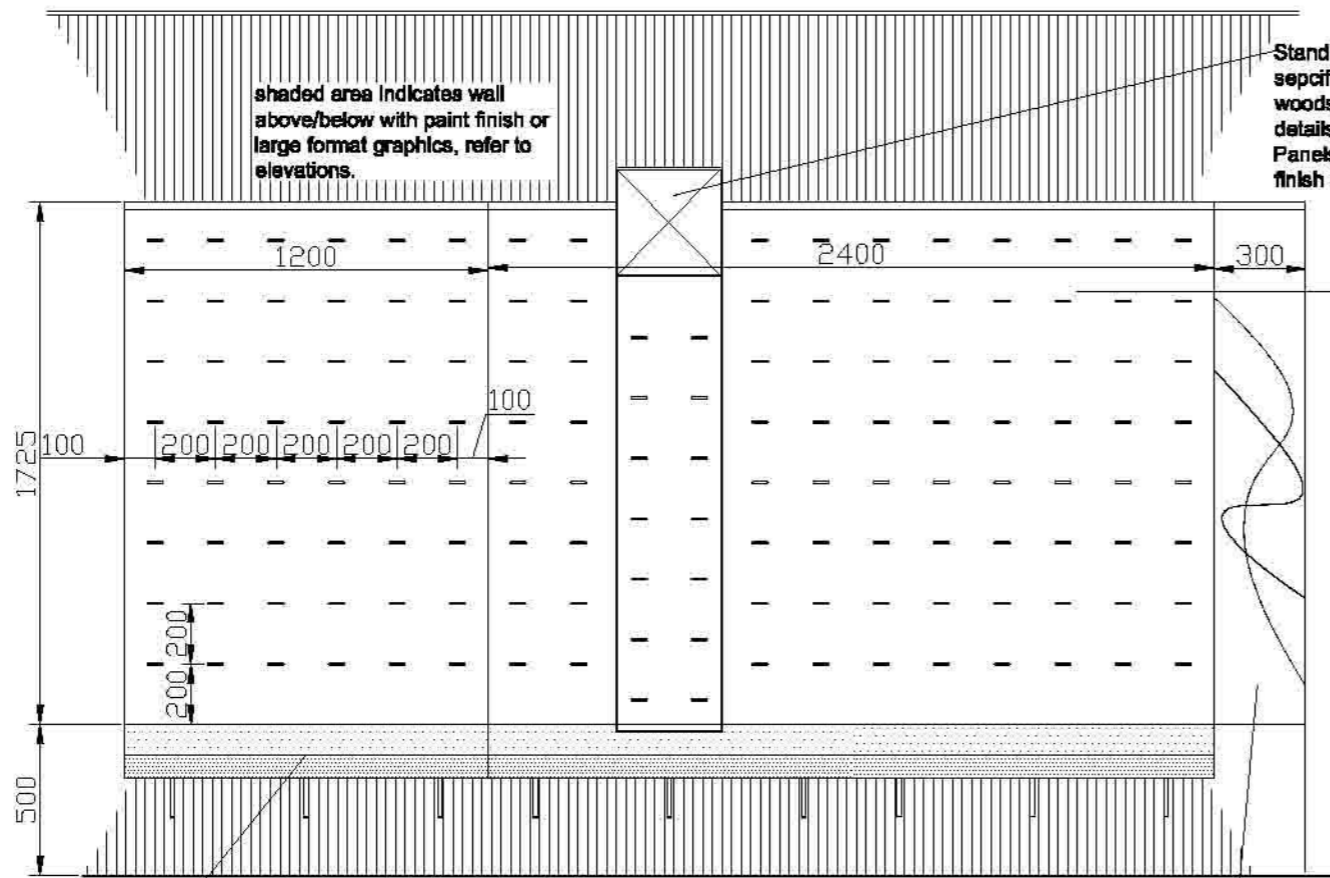
Date  
19/03/2009

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Varies

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18 Markis Street Edinburgh EH8 7JH  
T 0131 220 8270  
F 0131 220 8788  
E mail@oberlanders.co.uk  
www.oberlanders.co.uk

All wall panels and shelves to be manufactured and supplied by Woodstyle. Main contractor to erect on site.

Note- system on studwork shown. Where permitted by centre / landlord system may be fixed to existing brick/block walls. In this case wall above / below should be faced with 12.5mm plasterboard on dabs.



shaded area indicates wall above/below with paint finish or large format graphics, refer to elevations.

Stand off panels to schuh standard specification, to be supplied by woodstyle. Refer to elevations for details of number of panels required. Panels to have aqua green laminate finish as below.

PUC system wall panels, see note over.

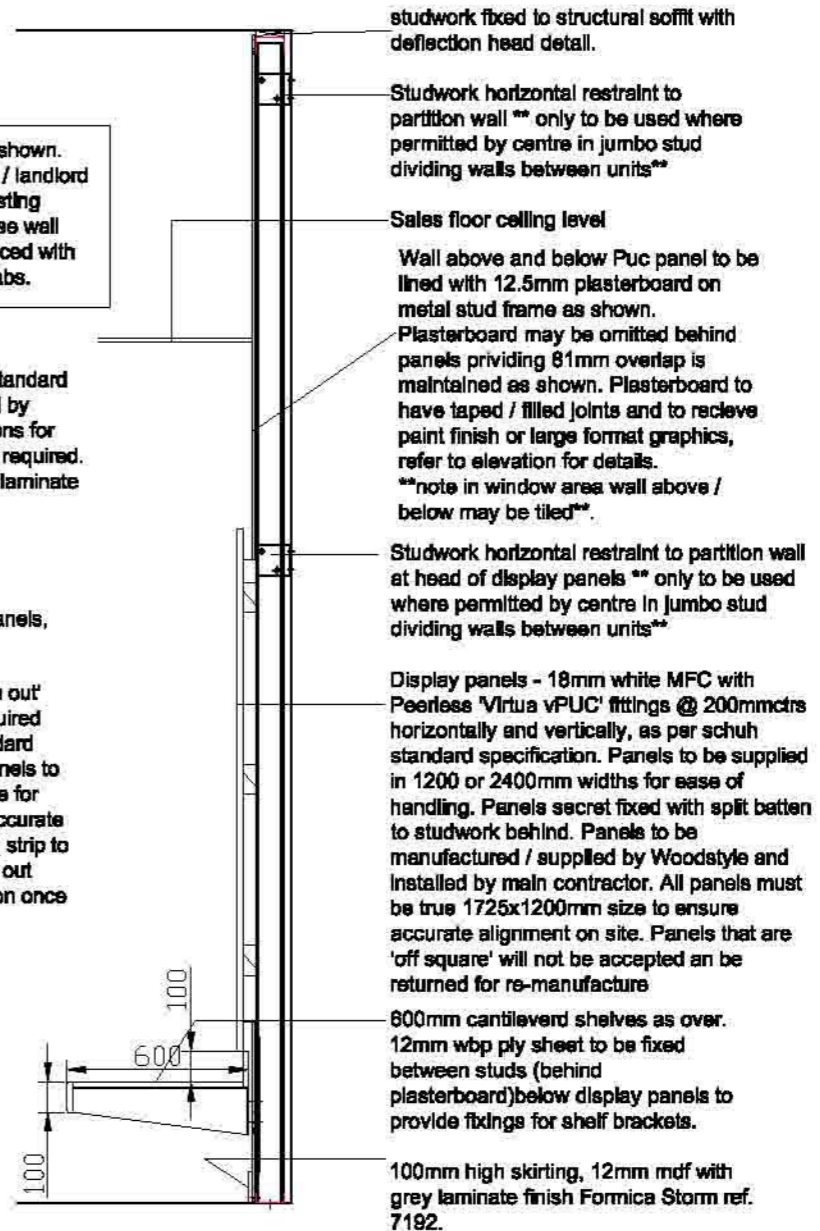
\*\* note - where 'turn out' size panels are required spec. is as for standard panels. Turn out panels to be supplied oversize for site cut to ensure accurate fit. matching edging strip to be supplied for turn out panels for application once cut.

Cantilevered shelves below display panels, refer to elevations for details. Shelves to be supplied in either 1200, 1800 or 2400mm lengths only for manhandling (1200 and 2400 units shown above). Shelves to be manufactured / supplied by Woodstyle. Shelf construction / finishes to be ...

Womens - 18mm MDF faced with Aqua green laminate Formica Spec: K1850 Fontana (\*\*TBC\*\*)

Mens - 18mm MDF faced with polyrey placage' ref. C073 - french white oak or similar).

Full height mirrors incorporated into system. Mirror top be exactly same height as assembled slot panel system. Mirror to be 4mm glass with polished edges, backed on 15mm MDF. Mirror panel to be secret fixed to frame behind with split batten. front face of mirror to be flush with adjacent panels.



studwork fixed to structural soffit with deflection head detail.

Studwork horizontal restraint to partition wall \*\* only to be used where permitted by centre in jumbo stud dividing walls between units\*\*

Sales floor ceiling level

Wall above and below Puc panel to be lined with 12.5mm plasterboard on metal stud frame as shown. Plasterboard may be omitted behind panels providing 81mm overlap is maintained as shown. Plasterboard to have taped / filled joints and to receive paint finish or large format graphics, refer to elevation for details. \*\*note in window area wall above / below may be tiled\*\*.

Studwork horizontal restraint to partition wall at head of display panels \*\* only to be used where permitted by centre in jumbo stud dividing walls between units\*\*

Display panels - 18mm white MFC with Peerless 'Virtua vPUC' fittings @ 200mmctrs horizontally and vertically, as per schuh standard specification. Panels to be supplied in 1200 or 2400mm widths for ease of handling. Panels secret fixed with split batten to studwork behind. Panels to be manufactured / supplied by Woodstyle and installed by main contractor. All panels must be true 1725x1200mm size to ensure accurate alignment on site. Panels that are 'off square' will not be accepted and be returned for re-manufacture

600mm cantilevered shelves as over. 12mm wbp ply sheet to be fixed between studs (behind plasterboard) below display panels to provide fixings for shelf brackets.

100mm high skirting, 12mm mdf with grey laminate finish Formica Storm ref. 7182.

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Project Name Schuh Limited 6 Frederick Street Edinburgh	Project no. - Drawing no. - Revision 1627-(7-)04
Title WALL PANEL DETAILS PUC SYSTEM	Status Tender
Drawn By JS	Drawn Date 18/03/2008
Scale (A) 1:25	Oberlanders Architects LLP 18 Melville Street Edinburgh EH3 7NS T 0131 225 9070 F 0131 220 3783 E mail@oberlanders.co.uk www.oberlanders.co.uk

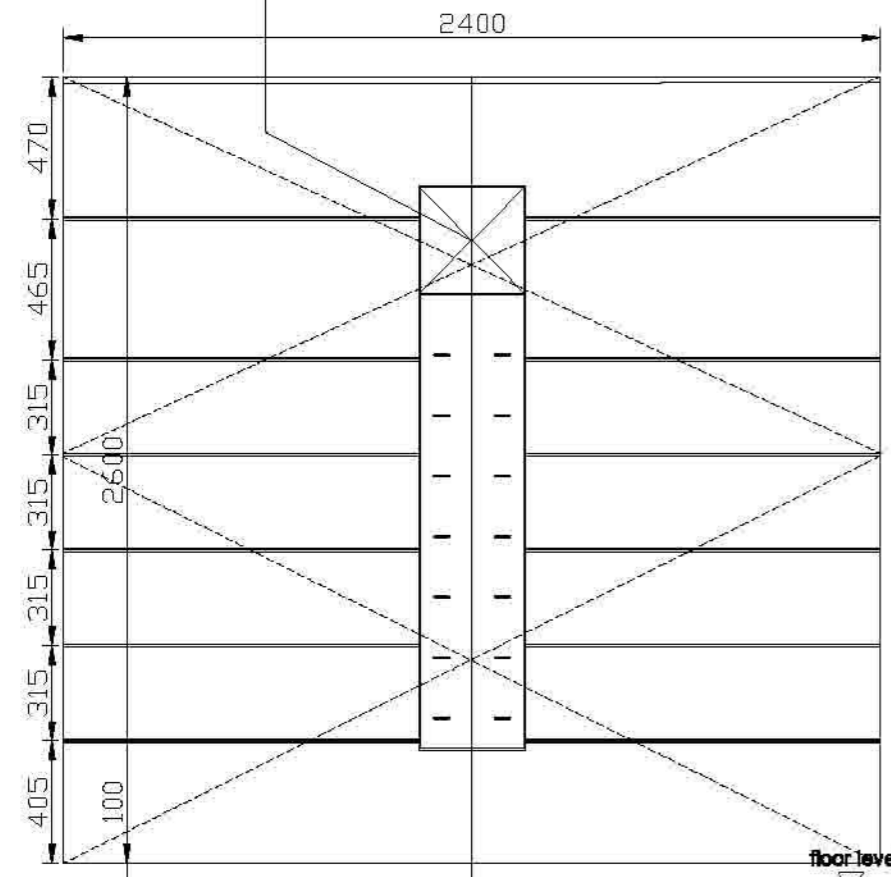




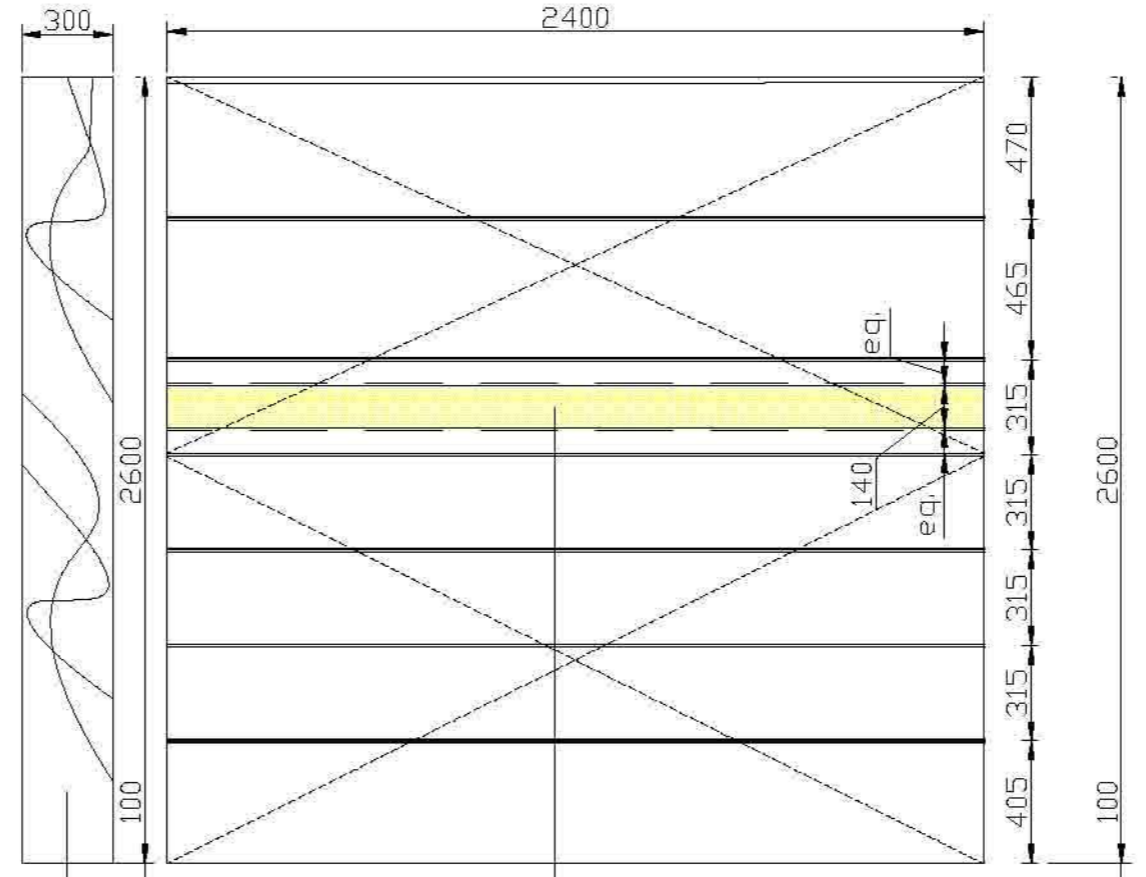
Note- system on studwork shown. Where permitted by centre / landlord system may be fixed to existing brick/block walls. In this case wall above / below should be faced with 12.5mm plasterboard on dabs.

Stand off panels to schuh standard specification, to be supplied by woodstyle. Refer to elevations for details of number of panels required.

Typical mirror panel elevation



Typical wall panel elevation



Typical (feature) wall panel elevation

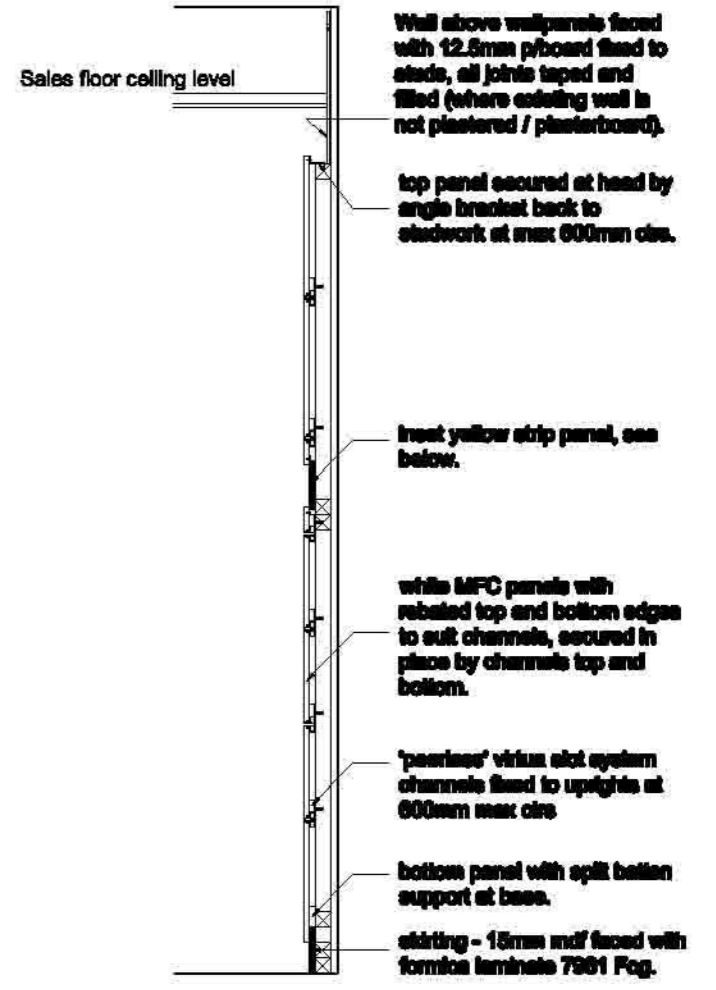
Full height mirrors incorporated into system. Mirror top to be exactly same height as assembled slot panel system. Mirror to be 4mm glass with polished edges, backed on 15mm MDF. Mirror panel to be secret fixed to frame behind with split batten. Front face of mirror to be flush with adjacent panels. Edges of mirror panels to be finished white.

Feature panels (refer to elevations for location) with inset yellow stripe. yellow stripe to be 12mm flame retardant mdf faced with Formica laminate colour ref. 1485 chrome yellow (balancing laminate to rear). yellow panel to be fixed behind cut out section in white panels. edges of cut out to be white melamine faced as per front face.



Typical wall panel plan

Typical wall panel section



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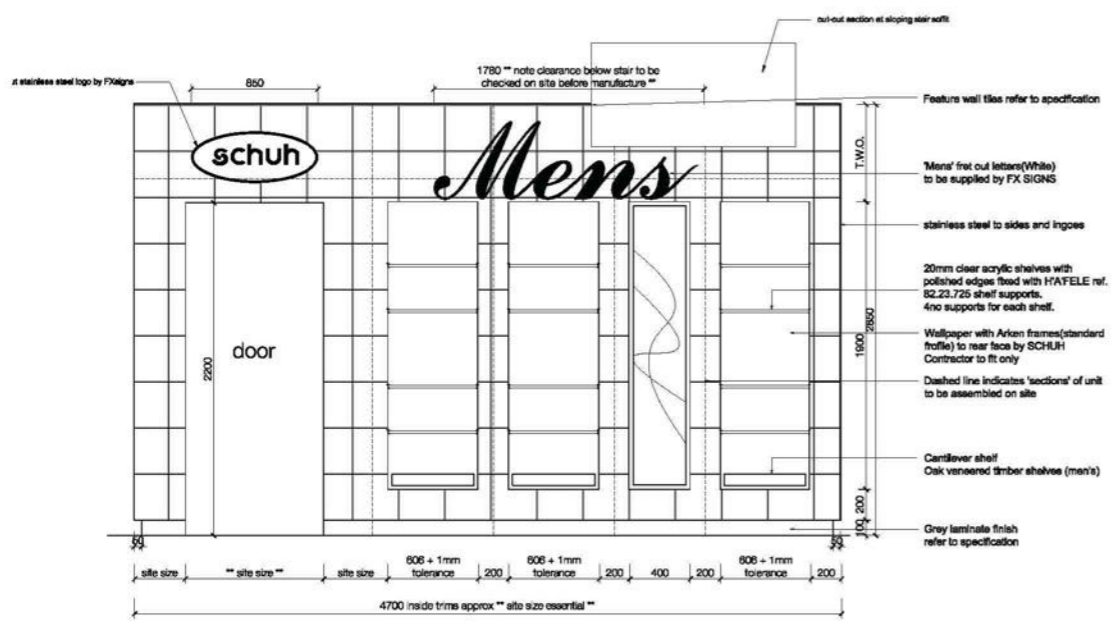
Project Name Schuh Limited 6 Frederick Street Edinburgh	Project no. - Drawing no. - Revision 1627-(7-)05
Title WALL PANEL DETAILS SLOT SYSTEM	Status Tender
Drawn By JS	Drawn Date 23/03/2008
Scale (A) 1:25	Oberlanders Architects LLP 18 Melville Street Edinburgh EH3 7NS T 0131 225 9070 F 0131 220 3783 E mail@oberlanders.co.uk www.oberlanders.co.uk



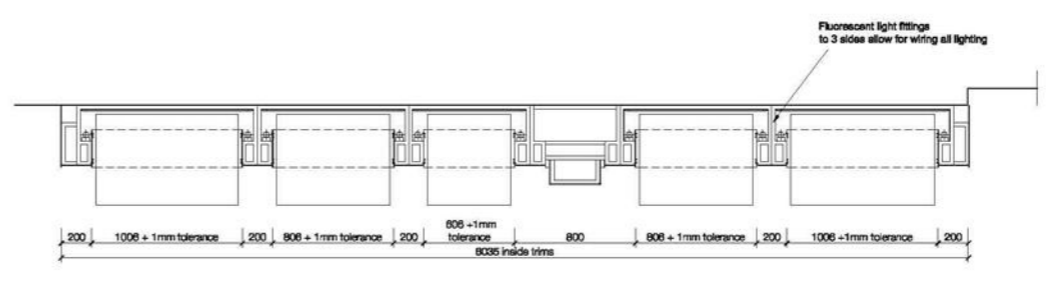
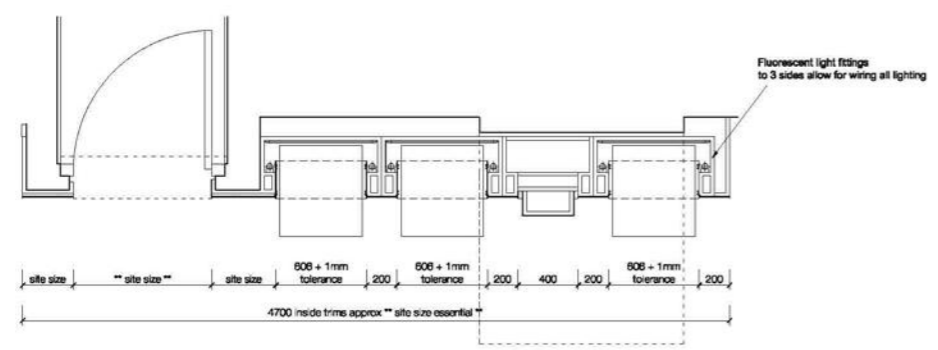
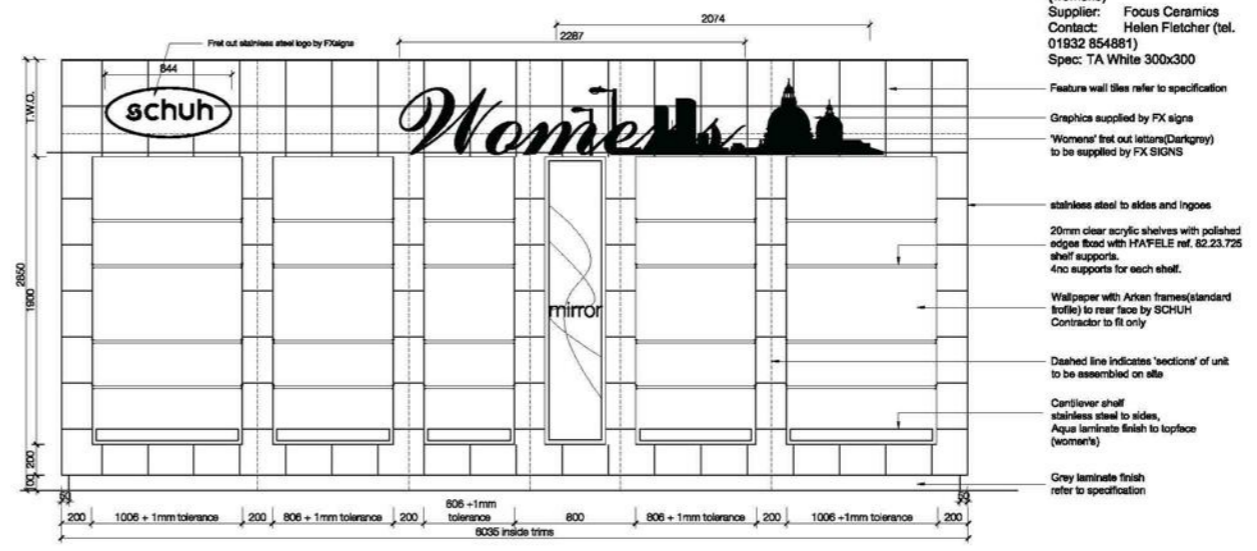
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1:10	1:20	1:25	1:50
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1:200	1:500		
REV	DATE	AMENDMENT	

Feature wall tiles - (mens)  
 Supplier: Focus Ceramics  
 Contact: Helen Fletcher (tel. 01932 854881)  
 Spec: TA Black 300x300

Flank wall and return wall tiled full height



Feature wall tiles - (womens)  
 Supplier: Focus Ceramics  
 Contact: Helen Fletcher (tel. 01932 854881)  
 Spec: TA White 300x300



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Project Name  
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 6 Frederick Street  
 Edinburgh

Title  
 FEATURE WALL UNITS  
 DETAILS

Scale  
**Tender**

Project no. - Drawing no. - Revision  
 1627-(7)-06

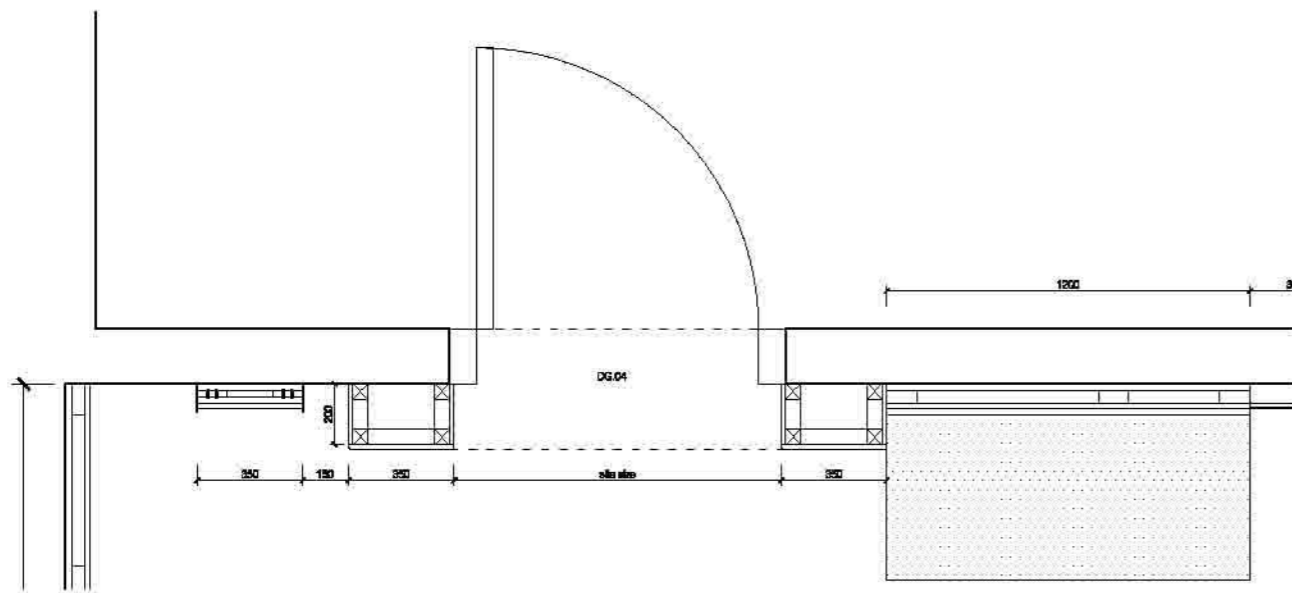
Drawn by  
 JS

Checked by  
 JS

Issue Date  
 18/03/2009

Scale 1/4 @ A1  
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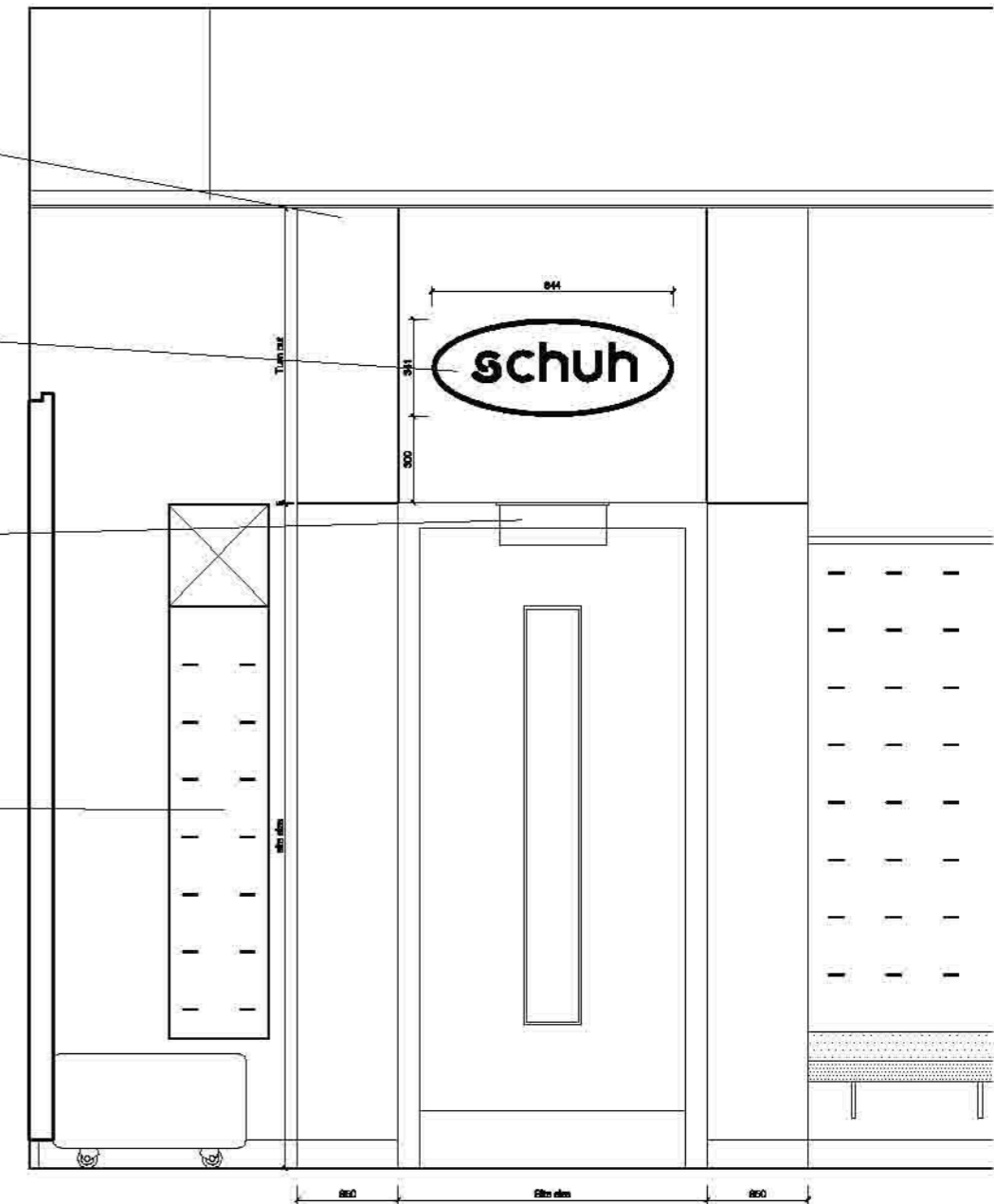


Door feature surround formed with s/w framing (100x50mm) full height to u/side of existing floor slab over. Feature surround to be clad with 18mm Oak veneered panels to all sides. Panels to have radlused edges and 5mm shadow gap joints as shown. Framing behind joints to be painted black before panels are fixed in place. All panles to be secret fixed.

Stainless steel schuh logo sign (comprises stainless steel oval ring and individual letters) fitted on clear acrylic spacers, centred on large panel as shown. Sign to be supplied by FX signs.

Fire exit sign (glass blade type) recessed in soffit of lobby.

Stand off pvc panel to same spec. as perimeter wall panels but fixed to wall.



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REAR WALL DOOR FEATURE

Project no. - Drawing no. - Revision  
1627-(7)-07

Tender

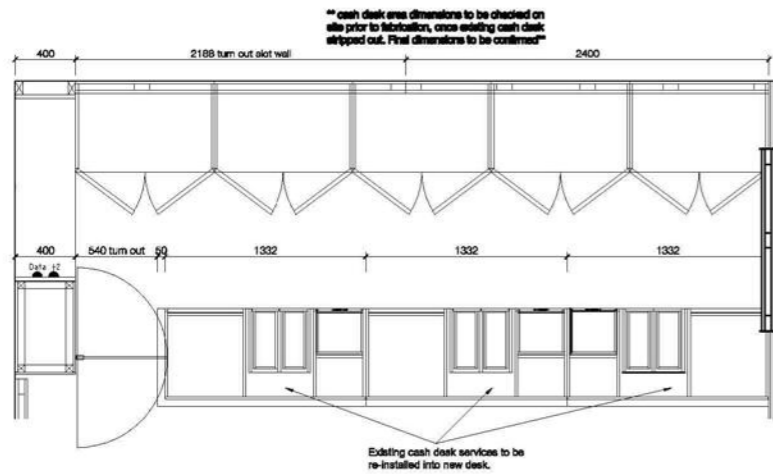
Drawn By  
JS  
Drawn Date  
23/03/2009  
Scale (if)  
1:25

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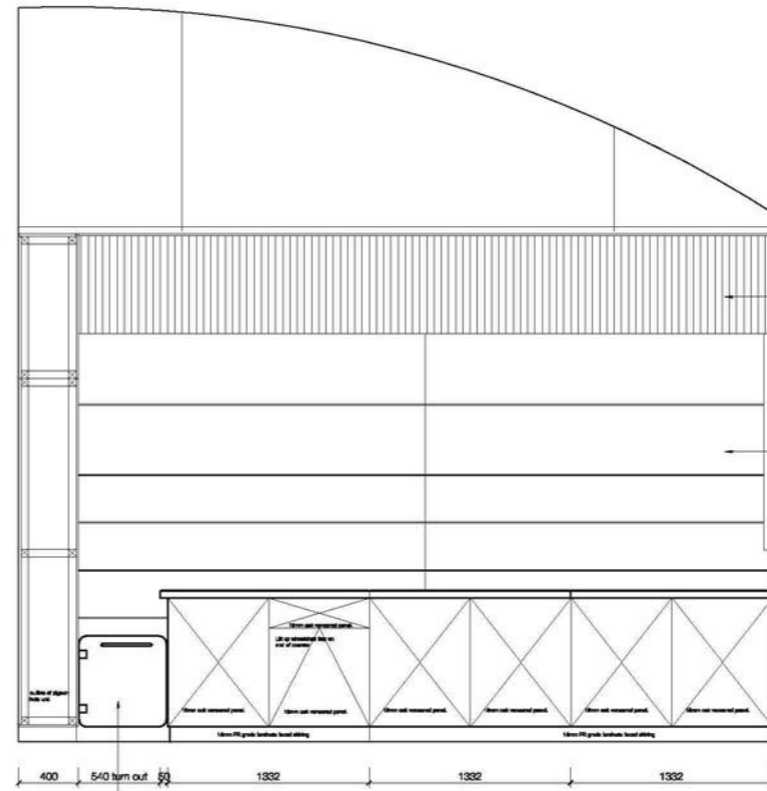


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Scale converter			
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REV	DATE	AMENDMENT	

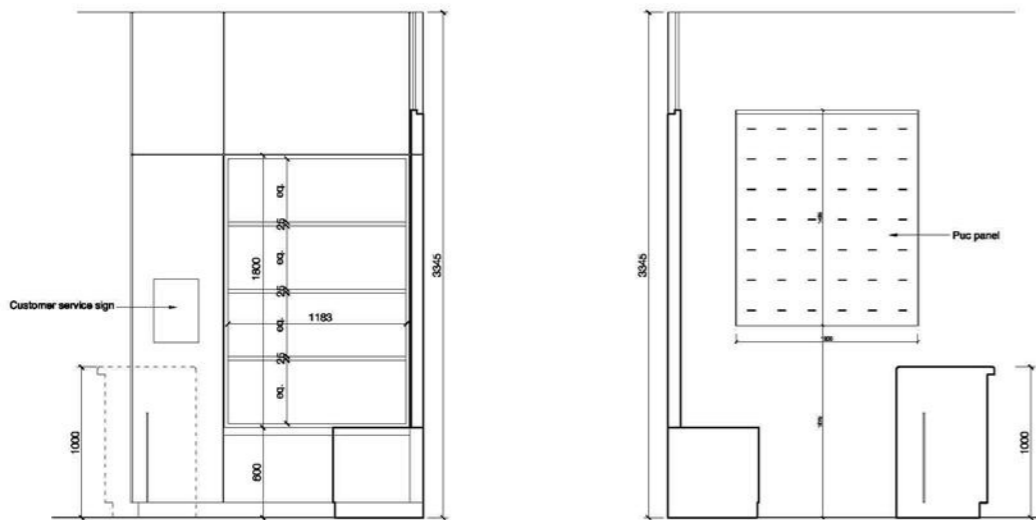


CASH DESK AREA PLAN



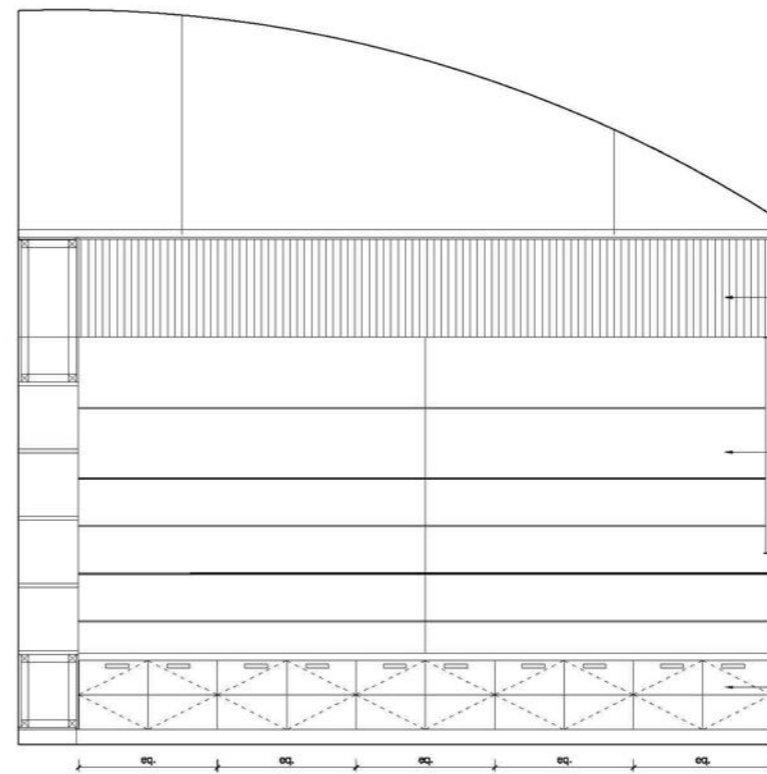
8mm clear toughened glass door with 50mm radius corners filled with Dornie patch fitting double swing hinges to suit door size (ref. Dornie DS 08 '02 or similar). Hinges to have 90deg. hold open setting and stainless steel finish. Door to have 300mm long bolt thro' type bar handle each side with stainless steel finish.

ELEVATION TO FRONT OF CASH DESK



ELEVATION TO PIGEON HOLES

ELEVATION TO PUC PANEL



ELEVATION TO REAR WALL



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Project Name  
Schuh Limited  
6 Frederick Street  
Edinburgh

Title  
CASH DESK  
GENERAL ARRANGEMENT

Scale  
**Tender**

Project no. - Drawing no. - Revision  
1627-(7)-08

Drawn by  
JS

Checked by  
18/03/2009

Scale 1/4 @ A1  
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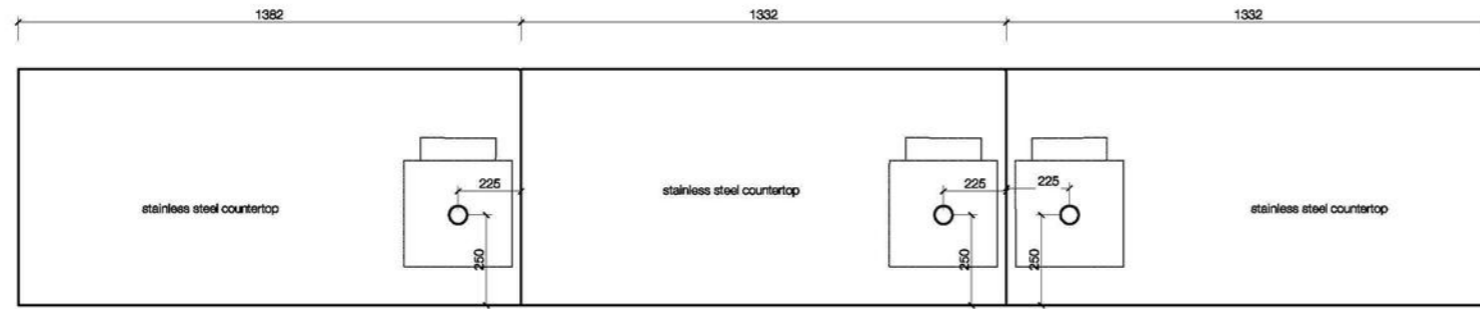
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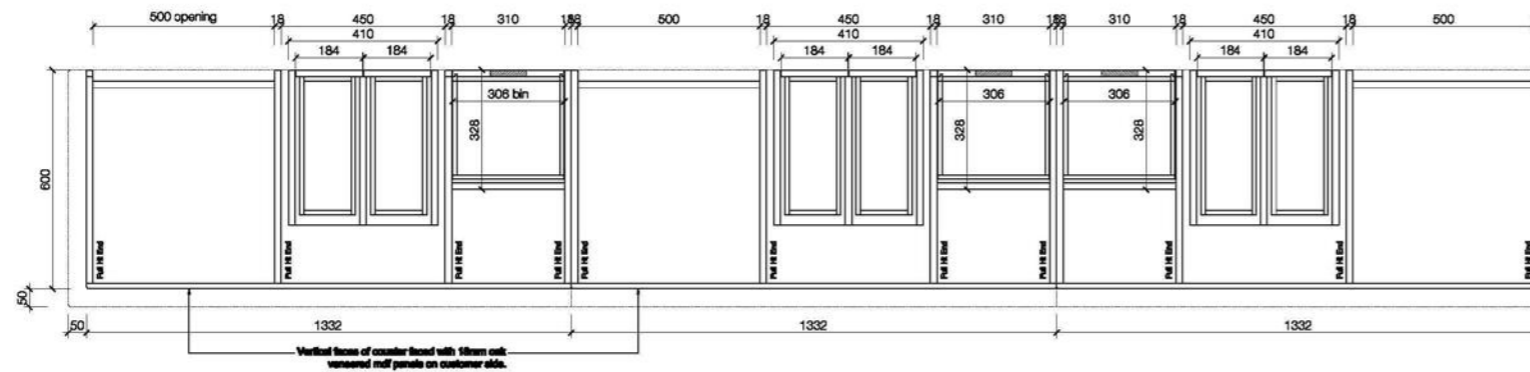
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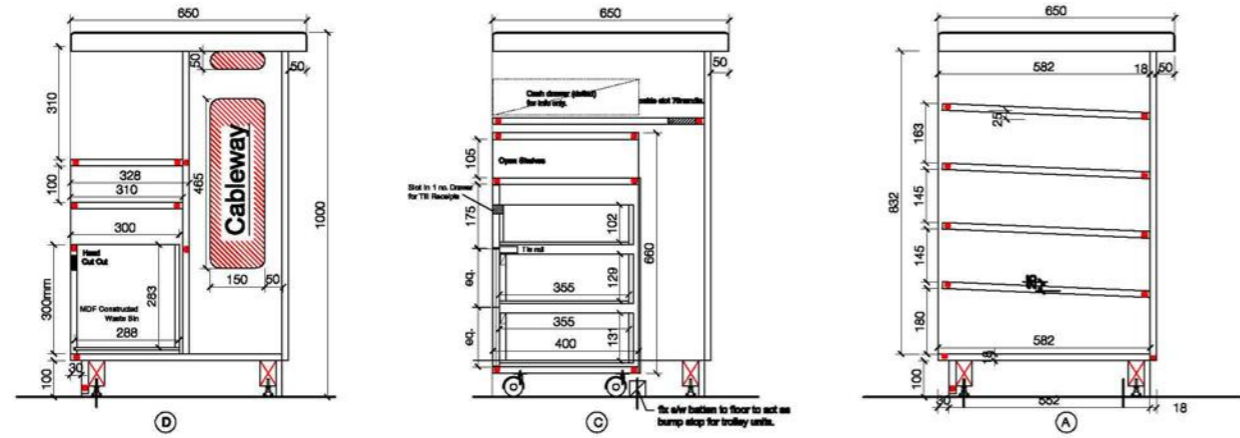
REV	DATE	AMENDMENT
A	26.03.09	Countertop holes moved, pull out shelves deleted.



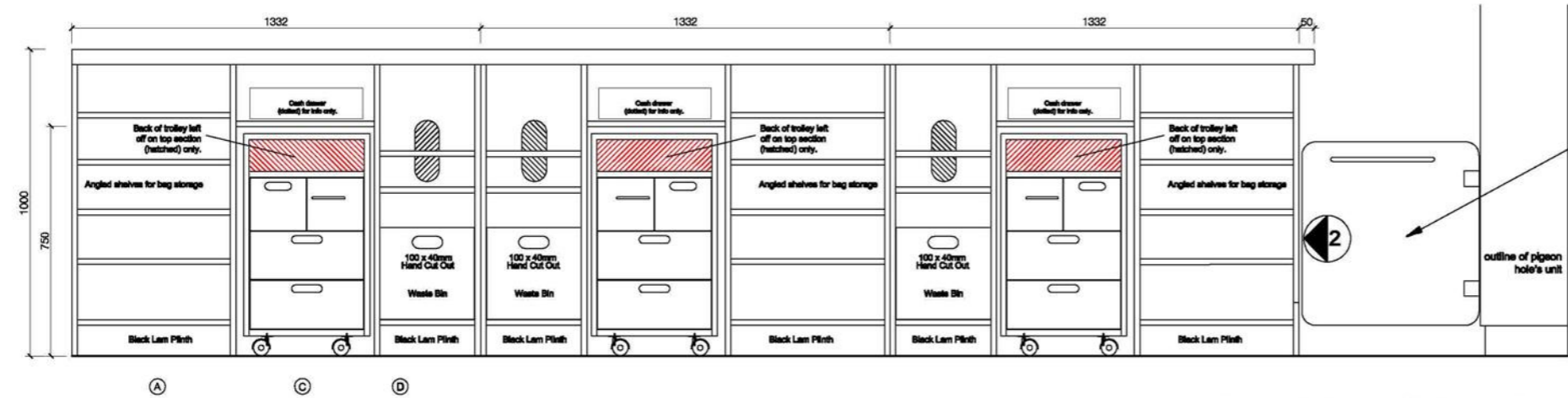
CASH DESK PLAN



CASH DESK PLAN - WORKTOP LEVEL



CASH DESK SECTIONS



CASH DESK PLAN - ELEVATION TO STAFF SIDE

**Cash Desk**

Modular cash desk to be constructed / supplied by 'Woodstyle'.

Cash desk to be constructed in 2 sections to allow for delivery to site.

Cash desk carcass, trolley units, cub's etc to be constructed from Fire retardant grade 18mm MFC (grey).

Customer side(s) of cash desk and access passage return and to be faced with 18mm fire retardant grade oak veneered panels (polyurethane M1 fire retardant grade 'penoplaste' ref. C073 - french white oak or similar). Panels to have radiused edges and 5mm shadow gap joints.

Recessed skirting to customer side to be 100mm high Fire retardant laminate faced chipboard / mdf formica colour ref:7912 (storm).

Counter top to be catering worktop grade stainless steel tray with folded sides, all corners milled and welded and smoothed off. All edges to be radiused. Top to have cable holes pre-drilled as shown.

Carcass sections to be filled with adjustable feet to allow levelling on site when assembled. Slidings to be provided oversized to allow trimming on site to suit floor levels.

Contractor to allow for assembly on site including cutting additional holes for cables etc as required. All cableways etc shown on drawing to be allowed for. TB cables etc to be pulled thro' by contractor. Allow for forming additional cable holes etc on site as requested by Schuh.

8mm clear toughened glass door with 50mm radiused corners filled with Doms patch filling double using hinges to suit door size (ref. dorns DB 03, 902 or similar). Hinges to have 80deg. hold open setting and stainless steel finish. Door to have 300mm long ball thro' type bar handle each side with stainless steel finish.



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Edinburgh

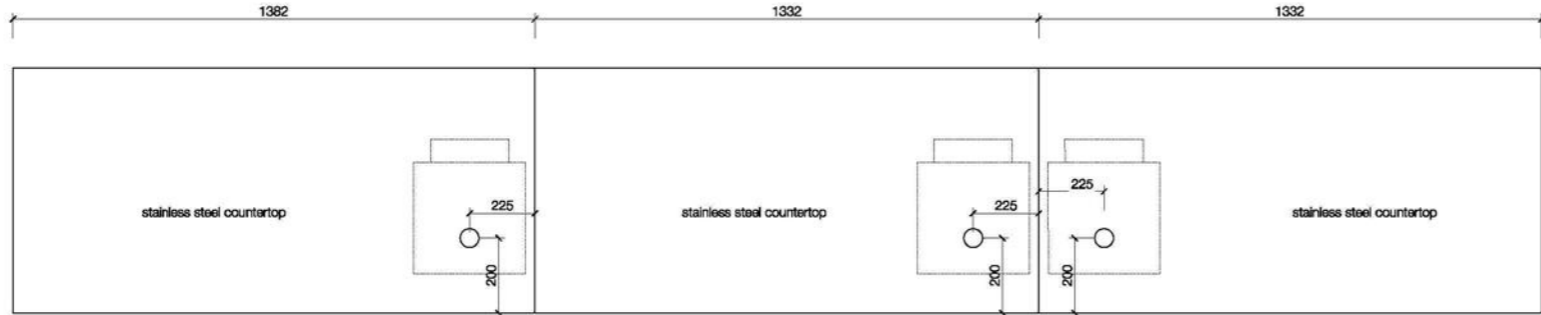
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Scale  
Tender  
Project no. - Drawing no. - Revision  
1627-(7)-10-A

Drawn By  
JS  
09/03/2009  
Scale: 1:10

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Scale			
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1:10	1:20	1:25	1:50
1:50	1:100	1:100	1:500
1:200	1:500		
REV	DATE	AMENDMENT	



CASH DESK PLAN

**Cash Desk**  
 Modular cash desk to be constructed / supplied by 'Woodstyle'.

Cash desk to be constructed in 2 sections to allow for delivery to site.  
 Cash desk carcass, trolley units, cut/ds etc to be constructed from Fire retardant grade 16mm MFC (grey).

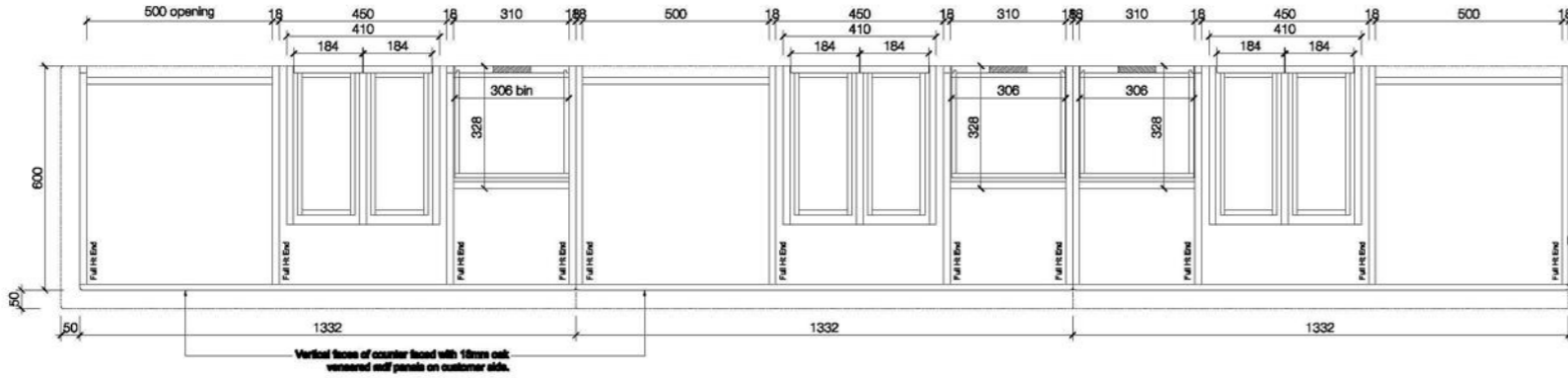
Customer side(s) of cash desk and access passage return end to be faced with 10mm fire retardant grade oak veneered panels (polyray M1 fire retardant grade 'panoplasage' ref. C073 - french white oak or similar). Panels to have radiused edges and firm shadow gap joints.

Radiused skirting to customer side to be 100mm High Fire retardant laminate faced chipboard / mdf formica colour ref:7912 (atom).

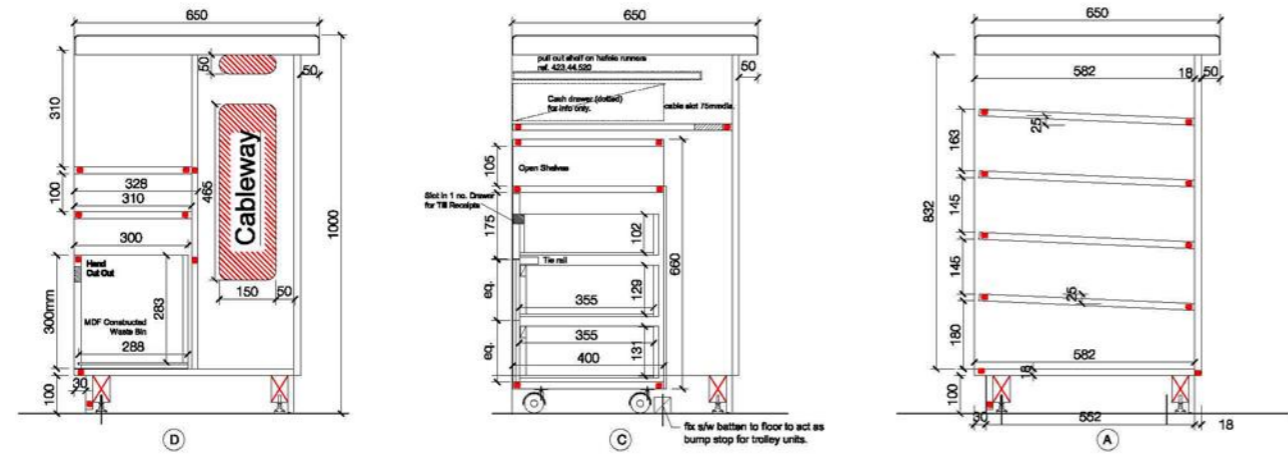
Counter top to be catering worktop grade stainless steel tray with folded sides, all corners mitered and welded and smoothed off. All edges to be radiused. Top to have cable holes pre-drilled as shown.

Carcass sections to be fitted with adjustable feet to allow levelling on site when assembled. Skirtings to be provided oversized to allow trimming on site to suit floor levels.

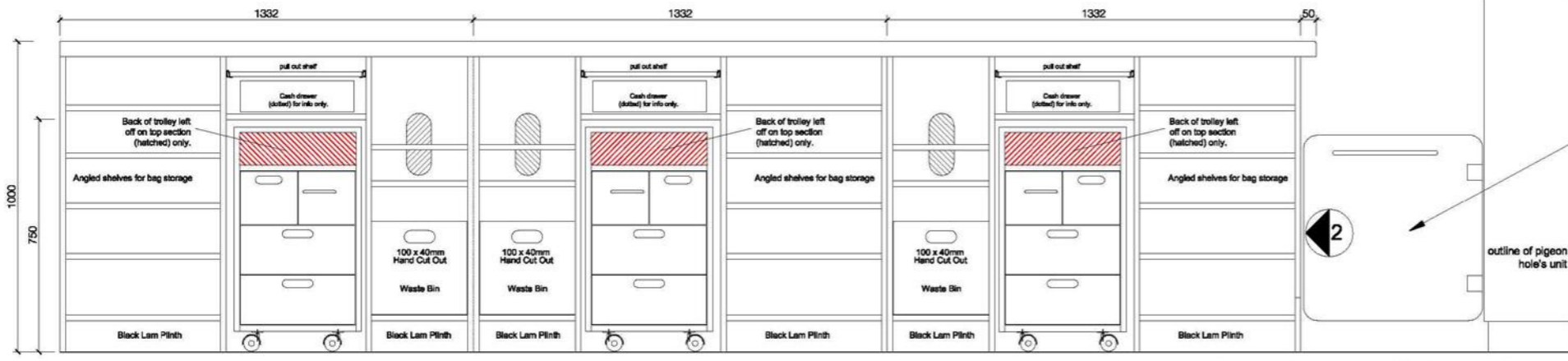
Contractor to allow for assembly on site including cutting additional holes for cables etc as required. All cableways etc shown on drawing to be allowed for. TII cables etc to be pulled thro' by contractor. Allow for forming additional cable holes etc on site as requested by Schuh.



CASH DESK PLAN - WORKTOP LEVEL



CASH DESK SECTIONS



8mm clear toughened glass door with 50mm radiused corners fitted with Dorma patch fitting double swing hinges to suit door size (ref. dorma DB 08.102 or similar). Hinges to have 90deg. hold open setting and stainless steel finish. Door to have 300mm long bolt thro' type bar handle each side with stainless steel finish.

CASH DESK PLAN - ELEVATION TO STAFF SIDE

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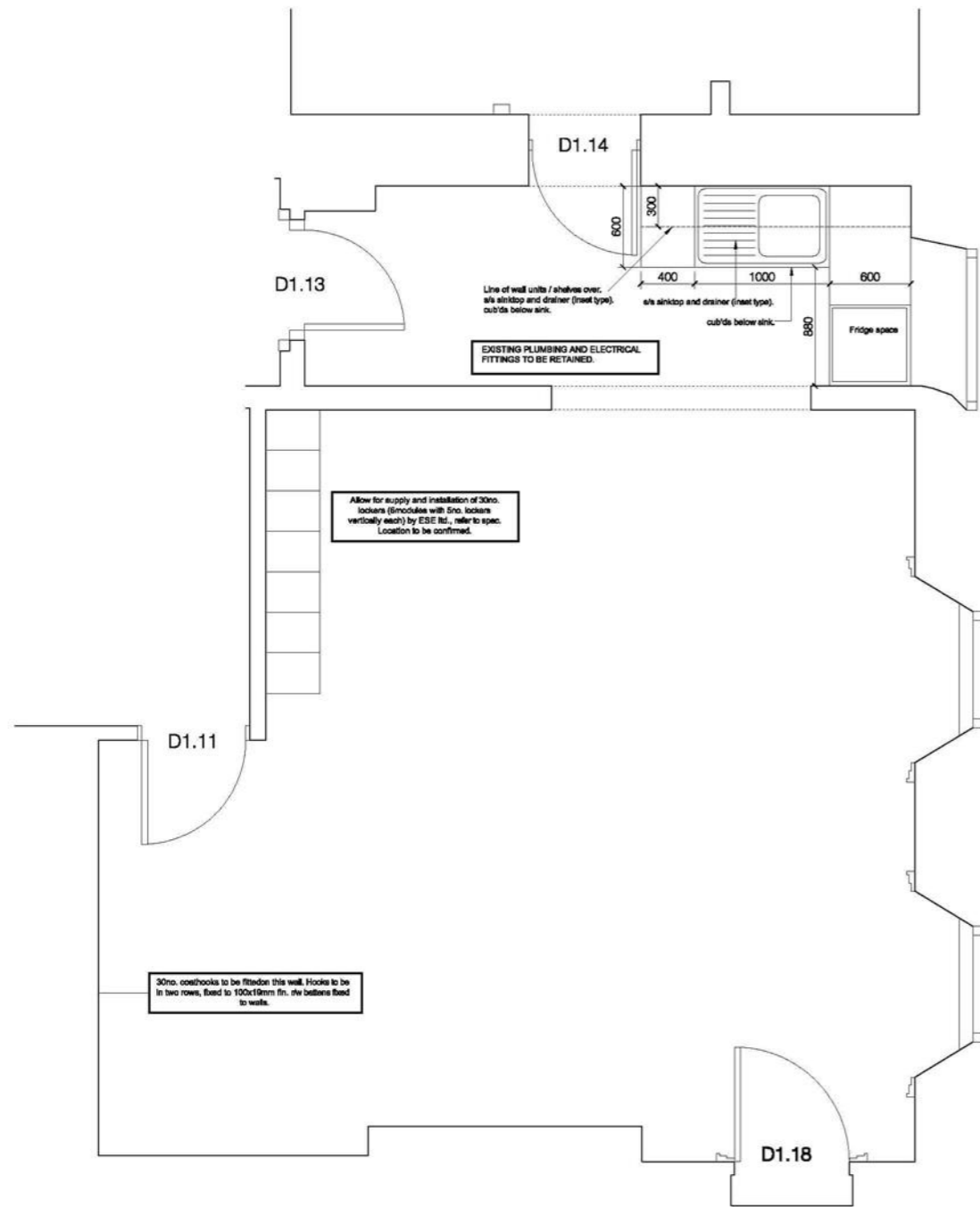


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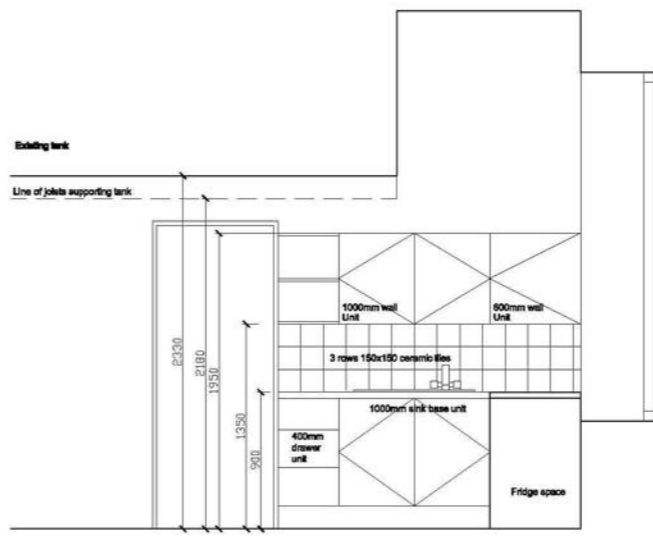
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 JS  
 Design Date  
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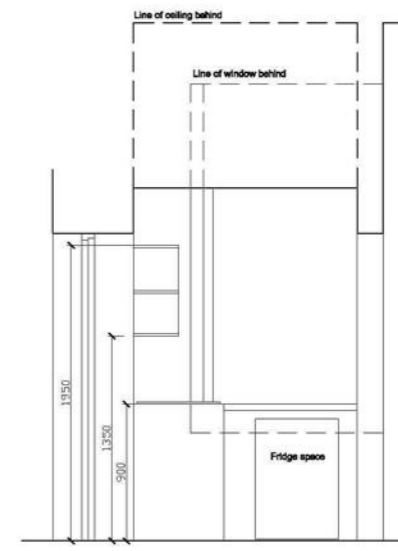
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1:50	1:100	1:100	1:500
1:200	1:500		
REV	DATE	AMENDMENT	



STAFFROOM PLAN 1:25



KITCHEN ELEVATION 1



KITCHEN ELEVATION 2



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Edinburgh

Title  
STAFFROOM DETAILS

Scale  
**Tender**  
Project no. - Drawing no. - Revision  
1627-(7-)-14

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JS  
Drawn Date  
24/03/2009  
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